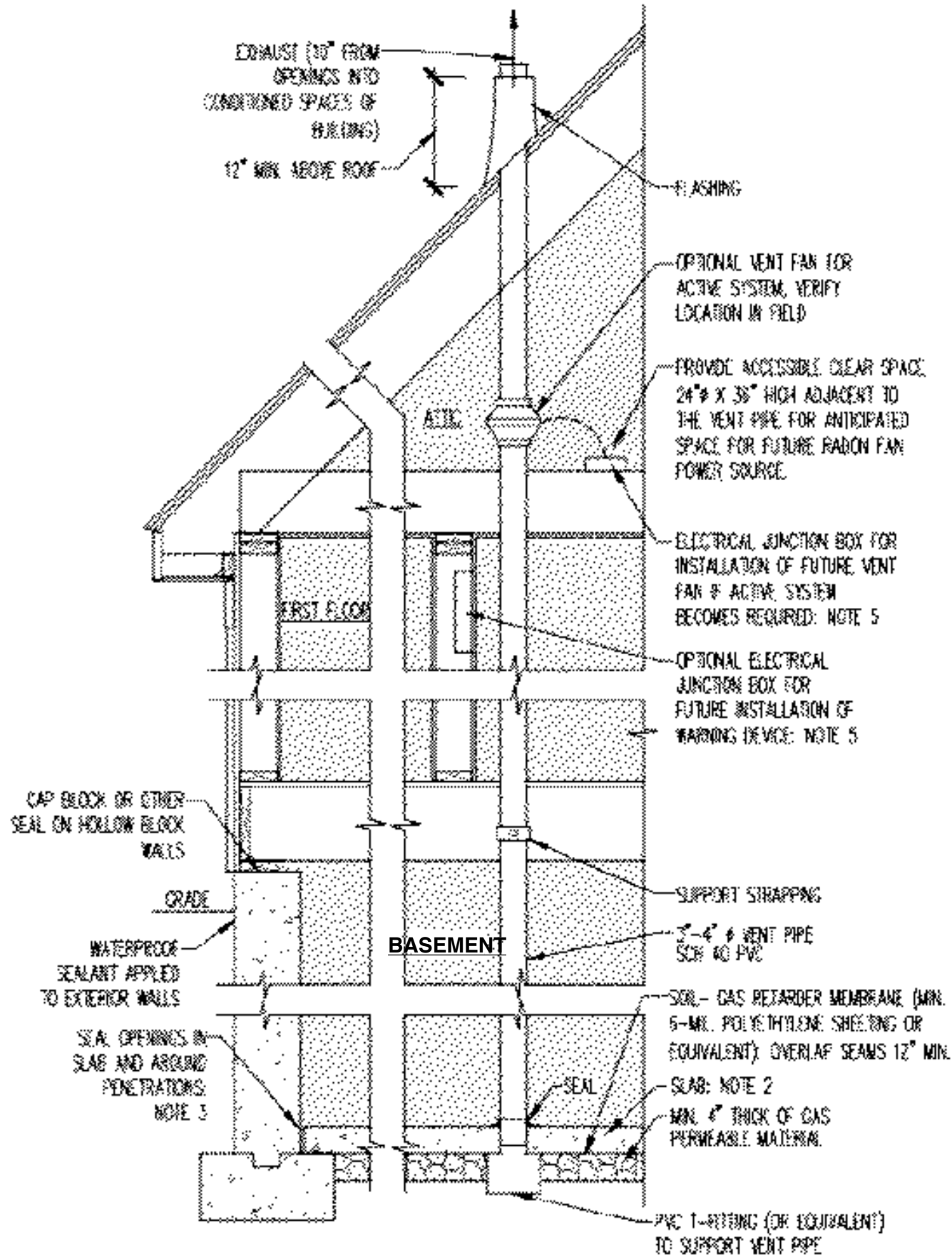


- NOTE:
PROVIDE PASSIVE RADON MITIGATION SYSTEM PER STATE ADOPTED CODES. PROVIDE POWER OUTLET IN ATTIC FOR FUTURE VENT FAN & OPTIONAL VENT FAN (FOR ACTIVE SYSTEMS). LOCATIONS OF VENT PIPING & POWER OUTLET IN ATTIC TO BE LOCATED IN FIELD. ALL EXPOSED & VISIBLE INTERIOR RADON VENT PIPING SHALL BE PROPERLY LABELED & IDENTIFIED.
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE Laid OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MIN. 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MIN. 4" THICK LAYER OF SAND, COVERED WITH A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATION "AC308.2R" & "AC308.1R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLAB ON GROUND".
3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIAL THAT PROVIDES A PERMANENT AIR TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELECTRONIC JOIST SEALANT, AS DEFINED IN ASTM D520-93T.
4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
5. CIRCUITS SHOULD BE A MIN. 15 AMP, 115 VOLT.
6. THE PASSIVE RADON SUB-SLAB DEPRESSURIZATION SYSTEM FEE OR APPROVED CONNECTION SHALL BE FITTED WITH NOT LESS THAN 5' OF PERFORATED PIPE EXTENDING FROM EACH HORIZONTAL OPENING OF THE TEE.



basement passive system

- NO SCALE

NOTICE

REVIEW AND/OR APPROVAL OF THESE PLANS IS NOT MEANT TO IMPLY THAT ALL ERRORS & OMISSIONS ARE NOTED HEREIN, NOR DOES IT RELIEVE THE APPLICANT FROM ANSWERING TO AND COMPLYING WITH ALL REQUIREMENTS & REGULATIONS OF THE KANE COUNTY BUILDING CODE

APPROVED SET OF PLANS MUST BE KEPT ON JOB SITE AT ALL TIMES FOR USE OF THE BUILDING OFFICIAL AND CONTRACTORS

KANE COUNTY BUILDING DEPARTMENT

PR2025- 02471

APPROVED PERMIT PLANS

KANE COUNTY BUILDING DIVISION

Subject to compliance with the provisions of the

Building Ordinance and all other County regulations.

Mark D. Vankerhoff, Building Officer

Reviewed by: _____ Date: _____

JP/12/04/2025

abbreviation list

A.F.F. - Above Finish Floor
ACOUST. - Acoustical
ADJ. - Adjacent
ALUM. - Aluminum
A.B. - Anchor Bolt
ANOD. - Anodized
B.B. - Ball Bearing
BRG. - Bearing
BITUM. - Bituminous
BLK'G. - Blocking
BD. - Board
BOT. - Bottom of
BLDG. - Building
CPT. - Carpet
C.I. - Cast Iron
CLG. - Ceiling
C.T. - Ceramic Tile
C.O. - Clean Out
CLR. - Clear
C.W. - Cold Water
COL. - Column
COMP. - Compact
CONC. - Concrete
CONN. - Connection
CONSTR. - Construction
CONTIN. - Continuous
CONTR. - Contractor
C.J. - Control Joint
COORD. - Coordinate
CORR. - Corrugated
D.K. - Dark
D. - Deep or Depth
DET. - Detail
DIAG. - Diagonal
DIA. - Diameter
DIM. - Dimension(ed)
DIE. - Disto- Stated Elsewhere
DBL. - Double
DN. - Down
DS. - Downspout
DNG. - Drawing
EA. - Each
E.P.N. - Each Way
E.N.C. - Electric Water Cooler

ELEC. - Electrical
EL. - Elevation
EQ. - Equal
EX. - Existing
EX/EXIST. - Existing
EXP. - Expansion
EXP. JT. - Expansion Joint
EXT. - Exterior
F.O.M. - Face Of Masonry
F.O.S. - Face Of Stud
FRP. - Fiberglass Reinforced Panel
FIN. - Finish
F.F.E. - Finished Floor Elevation
F.E. - Fire Extinguisher
F.E.G. - Fire Extinguisher Cabinet
FLR. - Floor
F.D. - Floor Drain
F.S. - Floor Sink
FLUOR. - Fluorescent
F.N.A. - Footing
FDN. - Foundation
GALV. - Galvanized
GA. - Gauge
G.C. - General Contractor
GRAN. - Granular
GYF. BD. - Gypsum Board
HDCP. - Handicap
HRDWD. - Hardwood
H.V.A.C. - Heating, Ventilating, Air Conditioning
HT. - Height
H.P. - High Point
H.C. - Hollow Core
H.M. - Hollow Metal
HORIZ. - Horizontal
H.W. - Hot Water
H.D. - Inside Diameter
INSUL. - Insulat(ion)ed
INT. - Interior
JT. - Joint
JST. - Joist
LB. - Laminated Box
LAM. - Lamination

LAV. - Lavatory
L.F. - Linear Feet/Foot
LLV. - Long Leg Vertical
L.F. - Low Point
MFR. - Manufacturer
MAS. - Masonry
M.O. - Masonry Opening
MATL. - Material
MAX. - Maximum
MECH. - Mechanical
MTL. - Metal
MEZZ. - Mezzanine
MIN. - Minimum
MISC. - Miscellaneous
MTD. - Mounted
N.F.P.A. - National Fire Protection Association
NOM. - Nominal
N.F.H.B. - Non-Freeze Hose Bibb
N.R.P. - Non-Removable Pin
N.A. - Not Applicable
N.I.C. - Not In Contract
NO. - Number
O.C. - On Center
OPNG. - Opening
O.D. - Outside Diameter
O.A. - Overall
OVHD. - Overhead
PAINT. - Paint
PR. - Pair
P.NL. - Panel
P.V.M.T. - Pavement
PL. LAM. - Plastic Laminate
PL. - Plate
PLBG. - Plumbing
PLYWD. - Plywood
P.S.F. - Pounds Per Square Foot
P.D. - Pounds Per Square Inch
PC. - Precast
PREFAB. - Prefabricate(d)
PREFIN. - Prefinished
P.P.T. - Pressure Preservative
QTY. - Quantity

Q.T. - Quarry Tile
RAD. - Radius
REFR. - Refrigerator
R.F. - Reinforce (ing)
REQD. - Required
REQMT. - Requirement
R.D. - Roof Drain
R.T.U. - Roof Top Unit
R.M. - Room
R.O. - Rough Opening
S.C. - Solid Core
SCHED. - Schedule
SIM. - Similar
SHT. - Sheet
SLV. - Short Leg Vertical
SPCS. - Spaces
SPEC. - Specification
SQ. - Square
S.F. - Square Foot
S.S. - Stainless Steel
STD. - Standard
STL. - Steel
SUSP. - Suspension/Suspended
TEL. - Telephone
TEMP. - Tempered
THK. - Thick
T.J. - Tie Joist
T/ - Top of
TYP. - Typical
U.L. - Underwriter's Laboratory
U.N.O. - Unless Noted Otherwise
V.B. - Vapor Barrier
V.T.R. - Vent thru Roof
V.I.F. - Verify In Field
VERT. - Vertical
V.G.T. - Vinyl Composition Tile
W.C. - Water Closet
W.H. - Water Heater
W.R. - Water Resistant
WP. - Waterproof
W.W.F. - Welded Wire Fabric
W.D.N. - Window
W. - With
WD. - Wood

general notes

- The General Contractor shall verify all existing conditions and dimensions before starting Work and report any discrepancies to the Architect and Tenant in writing.
- The General Contractor shall verify that all new Work complies with all applicable codes, laws and ordinances and shall obtain all necessary permits.
- It is the responsibility of the Contractor working at the site to protect the Owner's existing structures, equipment, furnishings, etc., from damage due to His/Her Work.
- The Contractor shall be responsible for fixing and/or replacing anything existing on the site, building utilities, or any other Owner equipment that is damaged as a result of His/Her Work.
- All Work shall be performed in a good workmanlike manner. All Subcontractors shall remove their debris and leave the job site broom swept at the end of EACH work day.
- Each and every Contractor and Subcontractor performing Work at the site of the Project to which this Contract relates, shall comply with applicable provisions of all pertinent Federal and State Labor Laws.
- All electrical work shall comply with ALL local codes and the current edition of the National Electrical Code. Electrical shown on plans is schematic ONLY.
- The General Contractor shall verify the location of the existing electric service to determine its suitability or additional service requirements for the proposed work. Service panels shall be labeled to identify their service areas.
- All metallic wiring shall be in metallic conduit or other approved metallic raceways. G.F.I. protected receptacles shall be provided wherever located within six (6) feet of wet/damp locations.
- Provide portable fire extinguishers according to the requirements of the local Fire Department. General Contractor shall contact the Fire Chief for approval of type(s) and location(s) PRIOR to occupancy.
- All trades shall do their own cutting, fitting patching, etc. to make the several parts come together properly and fit it to receive or be received by work of other trades.

- The intention of these Documents is to include all labor, materials services, equipment and transportation necessary for the complete and proper execution of the Work indicated on Drawings or reasonably inferred therefrom.
- The Contractor and ALL Subcontractors shall maintain such insurance as will protect Him/Her from claims under Workman's Compensation acts and other employee benefit acts; from claims for damages because of bodily injuries, including death to His/Her employees and all others; from claims for damages to property any or all of which may arise out of or result from the Contractor's operations under this Contract.

All insurance required shall include indemnification and HOLD HARMLESS provisions covering the Owner, Tenant and Architect.

- The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, for the acts or omissions of the Contractor, Subcontractors or any other persons performing any of the Work, or for the failure of any of them to carry out the Work in accordance with the Contract Documents.
- During construction, all necessary precautions shall be observed so as to prevent any hazardous conditions to occupants still using other portions of the building. Flammable finishes shall not be stored on the site until they are to be used. Flammable/combustible materials shall not be stored in furnace rooms. Portable fire extinguishing equipment shall be kept in the construction area. Combustible rubbish and scrap construction materials shall be removed from the site daily.
- Any pipe or conduit penetration through the exterior construction shall be sealed at both sides for a weathertight condition by the contractor.

demolition notes

- SELECTIVE DEMOLITION WORK: Demolition requires the selective and subsequent off-site disposal of the following:
 - Removal of framing construction as indicated on Drawings to accommodate proposed construction, including but limited to, as well rotten wood, saturated insulation or where any mold growth is present.
 - Removal and protection of existing fixtures and equipment items as indicated "salvage".
 - Related Work: Removal/relocation of pipes, conduits and other electrical work as specified by their respective trades.
- SCHEDULE: Submit schedule indicating proposed sequence of operations for selective demolition work to Owner for review prior to commencement of work. Include coordination for shut-off, capping, and continuation of utility services as required, together with details for dust and noise control to Owner.
- CONDITION OF STRUCTURE: Owner assumes no responsibility for actual condition of items/structures to be demolished. Conditions existing at time of commencement of contract will be maintained by Owner in so far as practicable.
- PROTECTIONS: Provide temporary weather protection during interval between demolition and removal of existing construction to insure that no water leakage or damage occurs to the structure or interior areas of the existing building.
 - Protect from damage existing finish work that is to remain in place and becomes exposed during construction.
 - Provide temporary barricades and other forms of protection as required to protect Owner and other general public from injury due to selective demolition.
 - Remove protections at completion of work.
- ENVIRONMENTAL CONTROLS: Provide services for effective air pollution controls as required by local authorities having jurisdiction. Utilize temporary enclosures and other suitable methods to limit dust and dirt rising and scattering in the air to the lowest practical level. Comply with governing regulations pertaining to environmental protection.
- DAMAGES: Promptly repair damages caused to adjacent areas/items by demolition work at no cost to Owner.
- UTILITY SERVICES: Maintain and keep in service existing utilities and protect against damages during demolition operations.
- TRAFFIC: Conduct selective demolition operations and debris removal in a manner to ensure minimum interference with roads, streets, walks and other adjacent occupied or used facilities.
- PREPARATION: Provide interior and exterior shoring, bracing or support to prevent movement, settlement or collapse of structures to be demolished and adjacent areas/items to remain.
 - Cease operations and notify Owner immediately if safety of structure appears to be endangered. Take precautions to support structure until determination is made for continuing operations.
- SALVAGE ITEMS: Where indicated on drawings as "salvage - deliver to Owner", carefully remove indicated items, clean, store and turn over to Owner and obtain receipt.
- PARTIAL DEMOLITION AND REMOVAL: Items indicated to be removed but of salvage value to the contractor may be removed from the building as work progresses. Transport salvaged items from the site as they are removed. Storage or sale of removed items on site will not be permitted.
- UNEXPECTED CONDITIONS: If unanticipated mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owner in written, accurate detail, pending receipt of directive from Owner, rearrange selective demolition schedule as necessary to continue overall job progress without delay.
- DEMOLITION: Perform selective demolition in a systematic manner.

- Demolish concrete in small sections. Cut concrete at junctures with construction to remain using power-driven saw or hand tools; do NOT use power-driven impact tools. Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.

- Cover and protect equipment and fixtures to remain from soiling or damage when demolition work is performed in rooms or areas from which such items have not been removed.

- DISPOSAL OF DEMOLISHED MATERIALS: Remove debris, rubbish, and other materials resulting from demolition operations from the building site. Transport and legally dispose of materials off-site.

- If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws and ordinances concerning removal handling and protection against exposure or environmental pollution.

- CLEAN-UP AND REPAIR: Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave interior areas broom swept clean.

- Repair demolition performed in excess of that required, return structures and surfaces to remain to condition existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces soiled or damaged by demolition work at no cost to Owner.

index to drawings

SHEET NO.	DESCRIPTION
1	COMPLIANCE STATEMENT, GENERAL DATA, BUILDING DATA, GENERAL NOTES, LOCATION MAP, ABBREVIATION LIST AND BASEMENT RADON SYSTEM
2	FOUNDATION & 1ST FLOOR FRAMING PLAN AND PIER & FRAMING DETAILS
3	2ND FLOOR FRAMING PLAN AND ROOF FRAMING PLN
4	PROPOSED 1ST AND 2ND FLOOR PLANS
5	PLUMBING SUPPLY PLAN: 1ST & 2ND FLOORS AND DIAGRAM
6	PLUMBING WASTE PLAN: 1ST & 2ND FLOORS AND DIAGRAM
7	MECHANICAL/HVAC PLAN: 1ST & 2ND FLOORS AND MECHANICAL EQUIPMENT SCHEDULE
8	ELECTRIC POWER & LIGHTING PLAN: 1ST & 2ND FLOORS
9	GENERAL NOTES & SPECIFICATIONS, SYMBOL LEGEND SCHEDULES: DOOR, WINDOW, LINTEL AND LIGHT & VENT

building data

EXISTING BUILDING FOOTPRINT:.....Exist. NO Change ... ± 1,088 Square Feet

EXISTING RESIDENCE:
1ST FLOOR AREA:.....Exist. NO Change ... ± 1,088 Square Feet
2ND FLOOR AREA:Exist. NO Change ± 728 Square Feet

TOTAL RESIDENCE FLOOR AREA:.....Exist. NO Change ... ± 1,816 Square Feet

general data

ZONING DISTRICT: Rutland Township ... F-Farming Zoning District
BUILDING CODE: International Residential Code 2021 with Local Amendments
PLUMBING CODE: Current Edition State of Illinois Plumbing Code with Local Amendments
ELECTRICAL CODE: NFPA 70 National Electrical Code 2020 with Local Amendments
MECHANICAL CODE: International Mechanical Code 2021 with Local Amendments
ENERGY CODE: Illinois Energy Conservation Code 2021

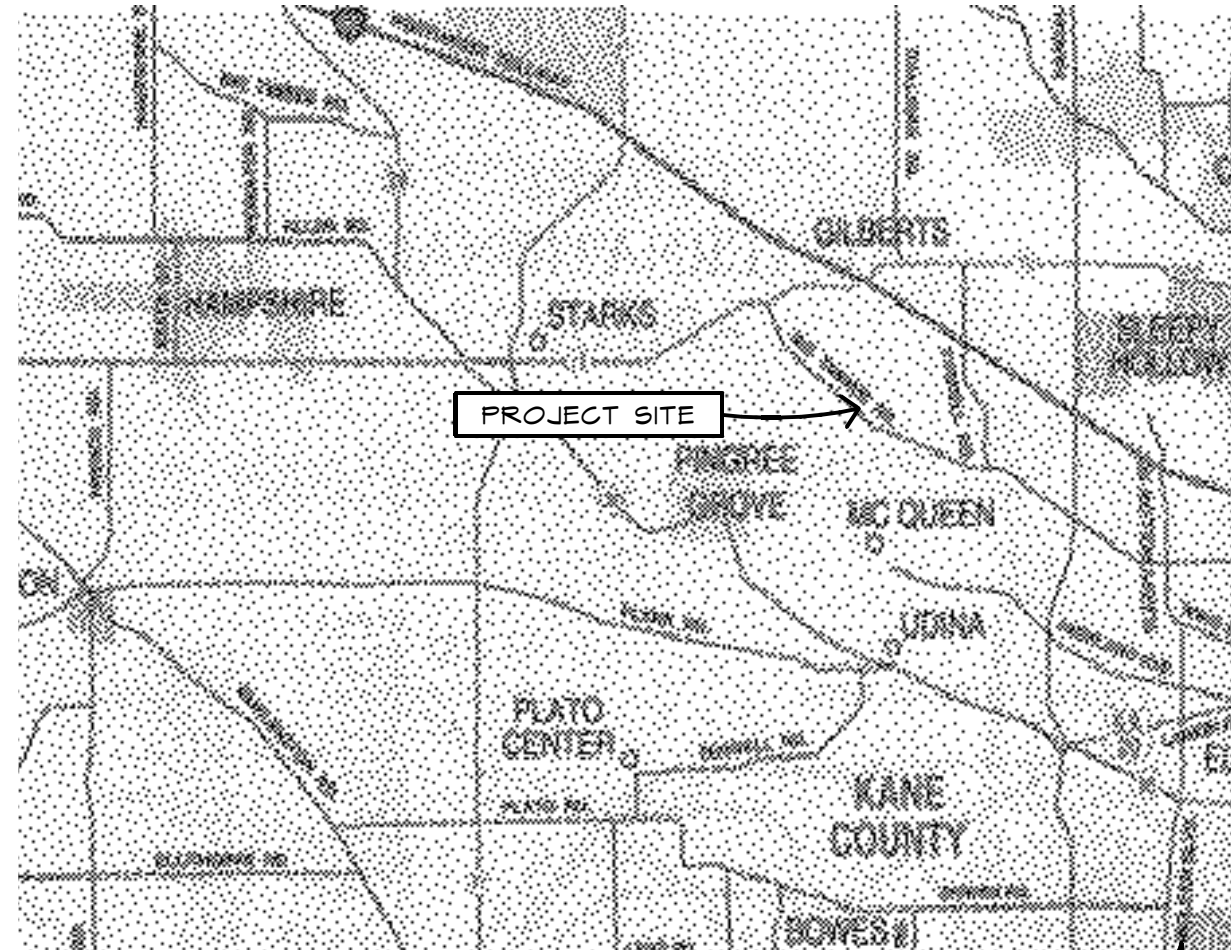
compliance statement

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES:

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ALL APPLICABLE STATE AND LOCAL CODES.

SIGNED: _____ DATE: 10/12/25
ARCHITECT: LAWRENCE A. FARRENKOFF LICENSE EXPIRES: 11/30/26
ILLINOIS REGISTRATION NO: 001-011481

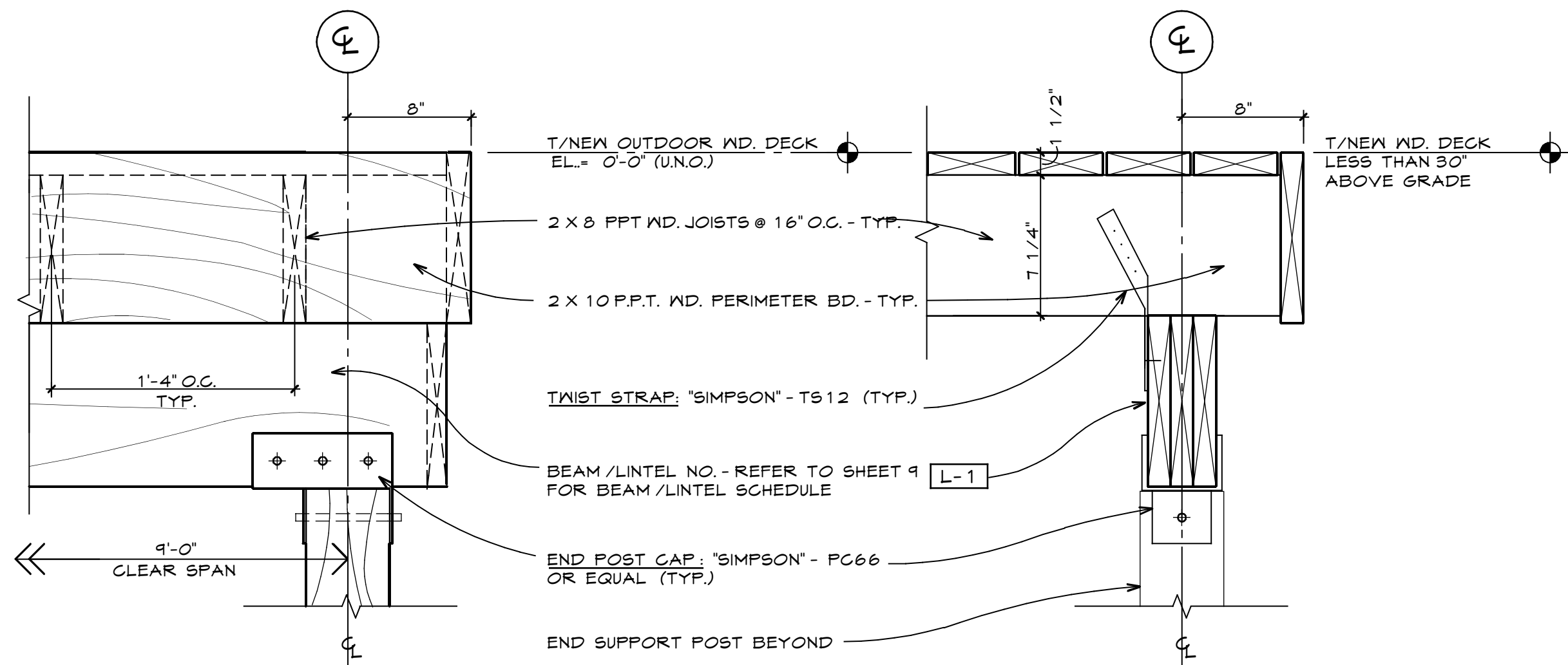
ARCHITECTS 127 + ASSOCIATES, INC.
DESIGN FIRM LICENSE NO: 184-0021195 LICENSE EXPIRES: 4/30/27



location map

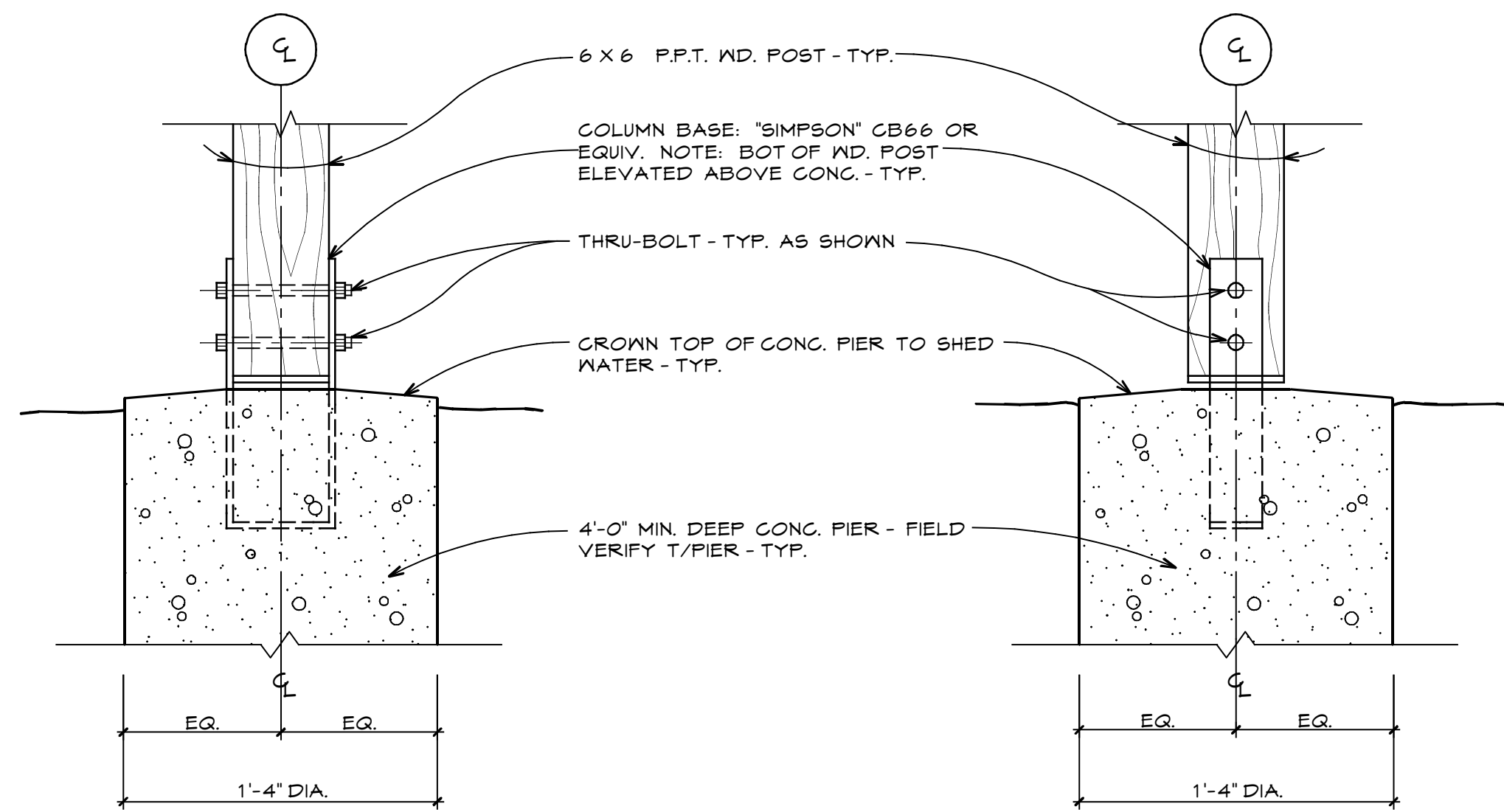
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PROJECT NO:	2432	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25	BID #	25	PERMIT
DRAWN:	RGY/LAF			
CONTENTS: BASEMENT RADON DET. • BLDG. DATA • COMPLIANCE STMT. GEN. DATA • GEN. NOTES • DEMO. NOTES • ABBREV. LIST • LOC. MAP				



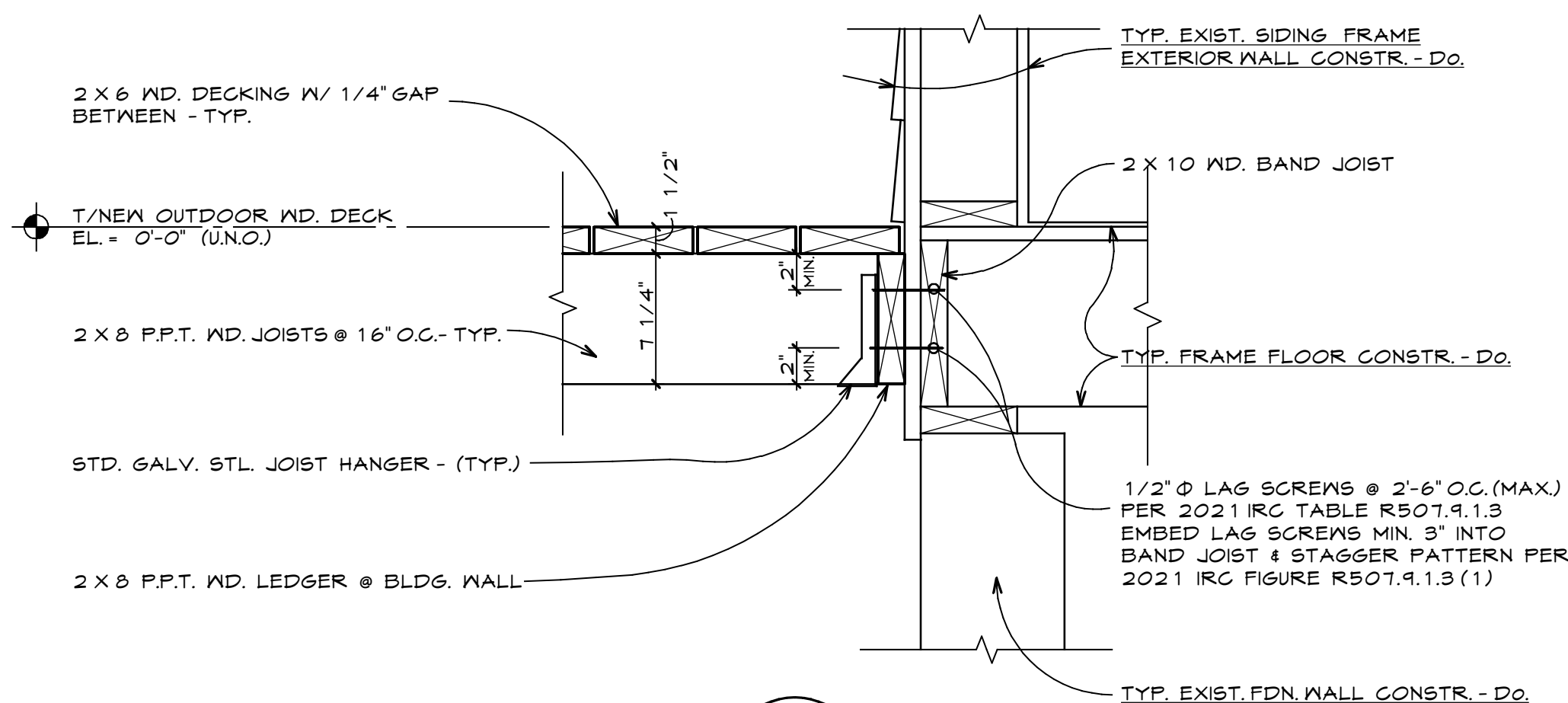
ELEV. **1** framing details **2** SECTION

• SCALE: 1 1/2" = 1'-0"

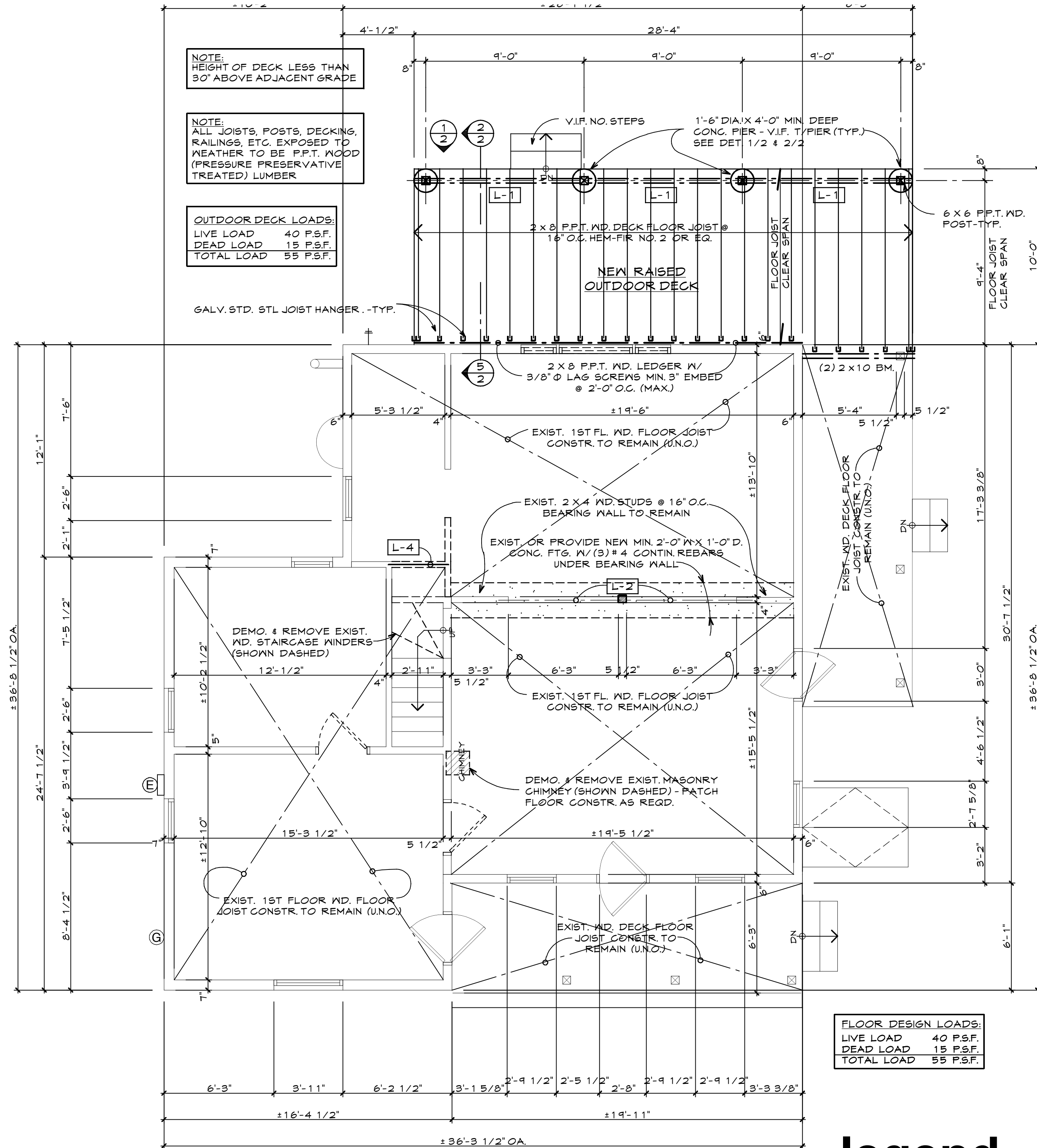


3 pier details **4**

• SCALE: 1 1/2" = 1'-0"



5 SECTION

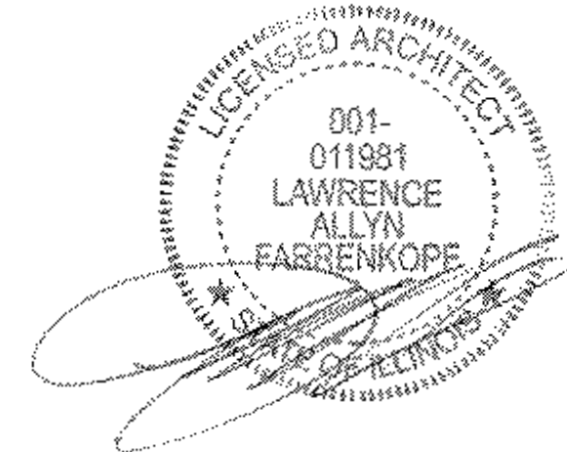


legend

L-1 LINTEL NO. - REFER TO SHEET 9 FOR LINTEL SCHEDULE

new deck fdn. & 1st floor framing plan

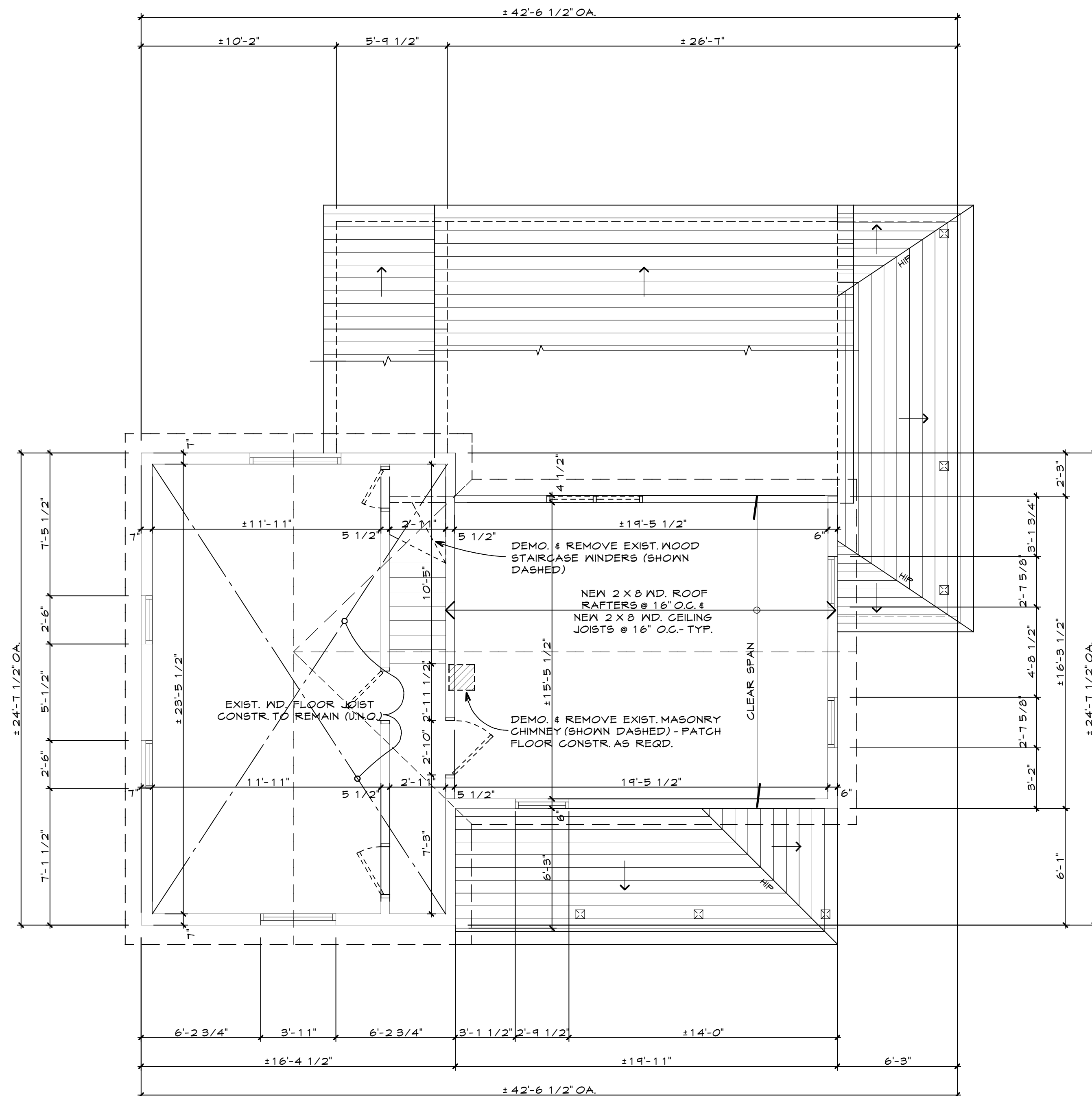
- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- EXIST. BUILDING INFO. & DIMENSIONS TAKEN FROM SITE VERIFICATION BY ARCHITECTS 127 + ASSOCIATES, INC. ON 3/6/24
- REFER TO SHEET 1 FOR DEMOLITION NOTES AND GENERAL NOTES
- REFER TO SHEET 4 FOR PROPOSED FLOOR PLAN



Design Firm License No.: 184-002195

DEMOLITION AND REBUILD WOOD FRAME & SIDING BUILDING
proposed 2-story renovation
single family residence
39W330 BIG TIMBER ROAD
ELGIN - KANE COUNTY, ILLINOIS

PROJECT NO:	2432	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25	BID & PERMIT	12 NOV 25	
DRAWN:	RGY/LAF			
CONTENTS:	NEW DECK FOUNDATION & 1ST FLOOR FRAMING PLAN			
	PIER DETAILS • FRAMING DETAIL			

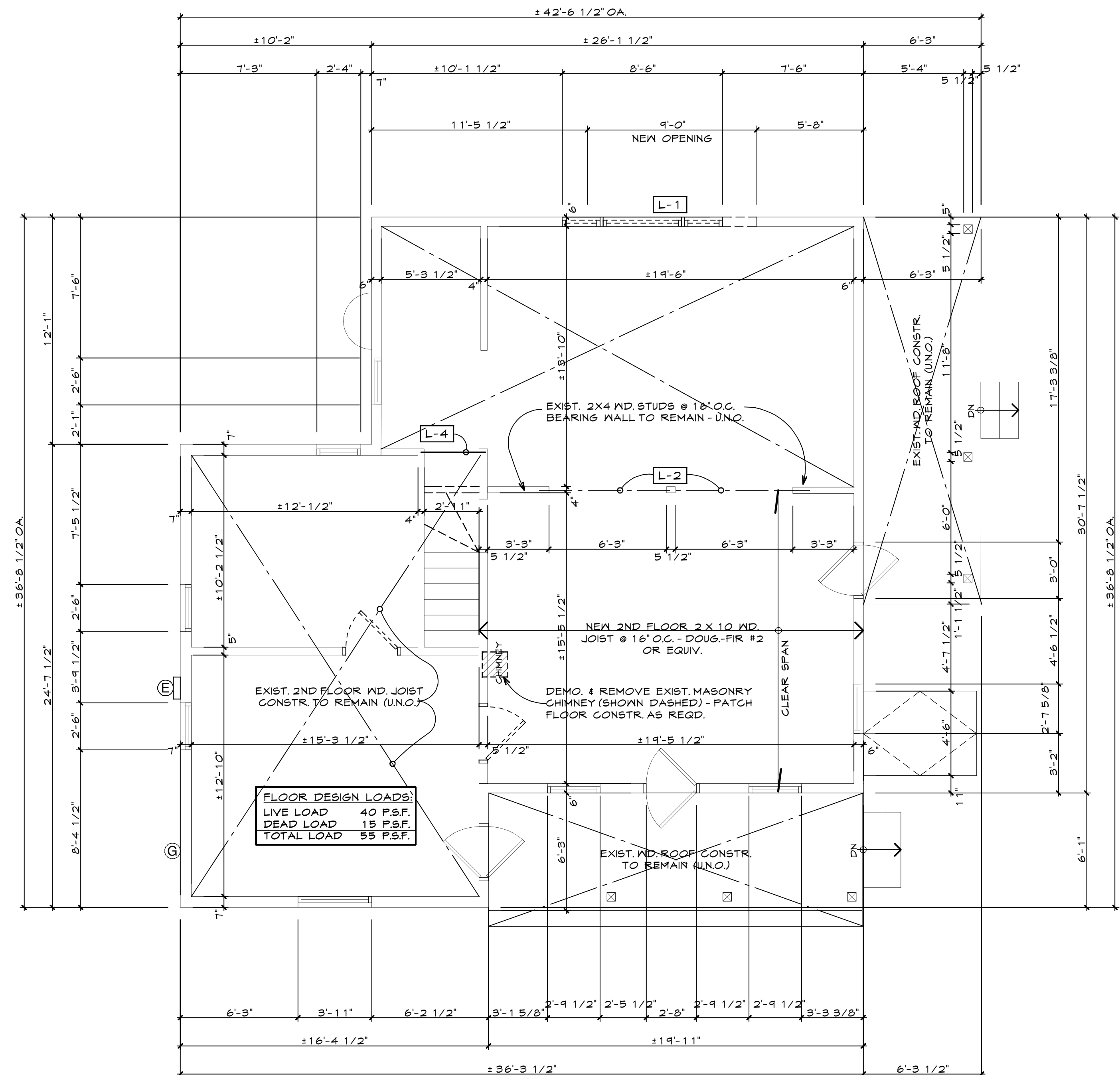


roof framing plan n 1/4"=1'-0"

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- EXIST. BUILDING INFO. & DIMENSIONS TAKEN FROM SITE VERIFICATION BY ARCHITECTS 127 + ASSOCIATES, INC., ON 3/6/24
- REFER TO SHEET 3, 2ND FLOOR FRAMING PLAN FOR TYPICAL PLAN NOTES

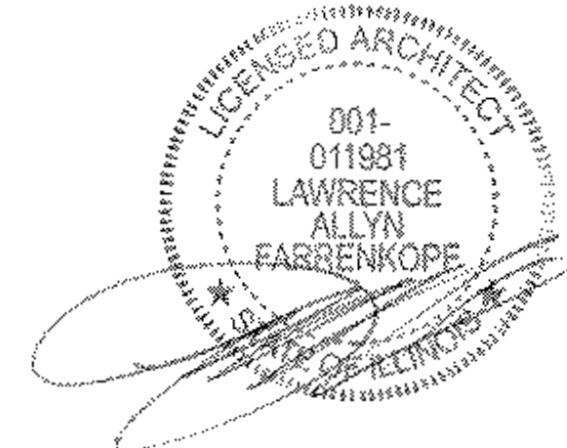
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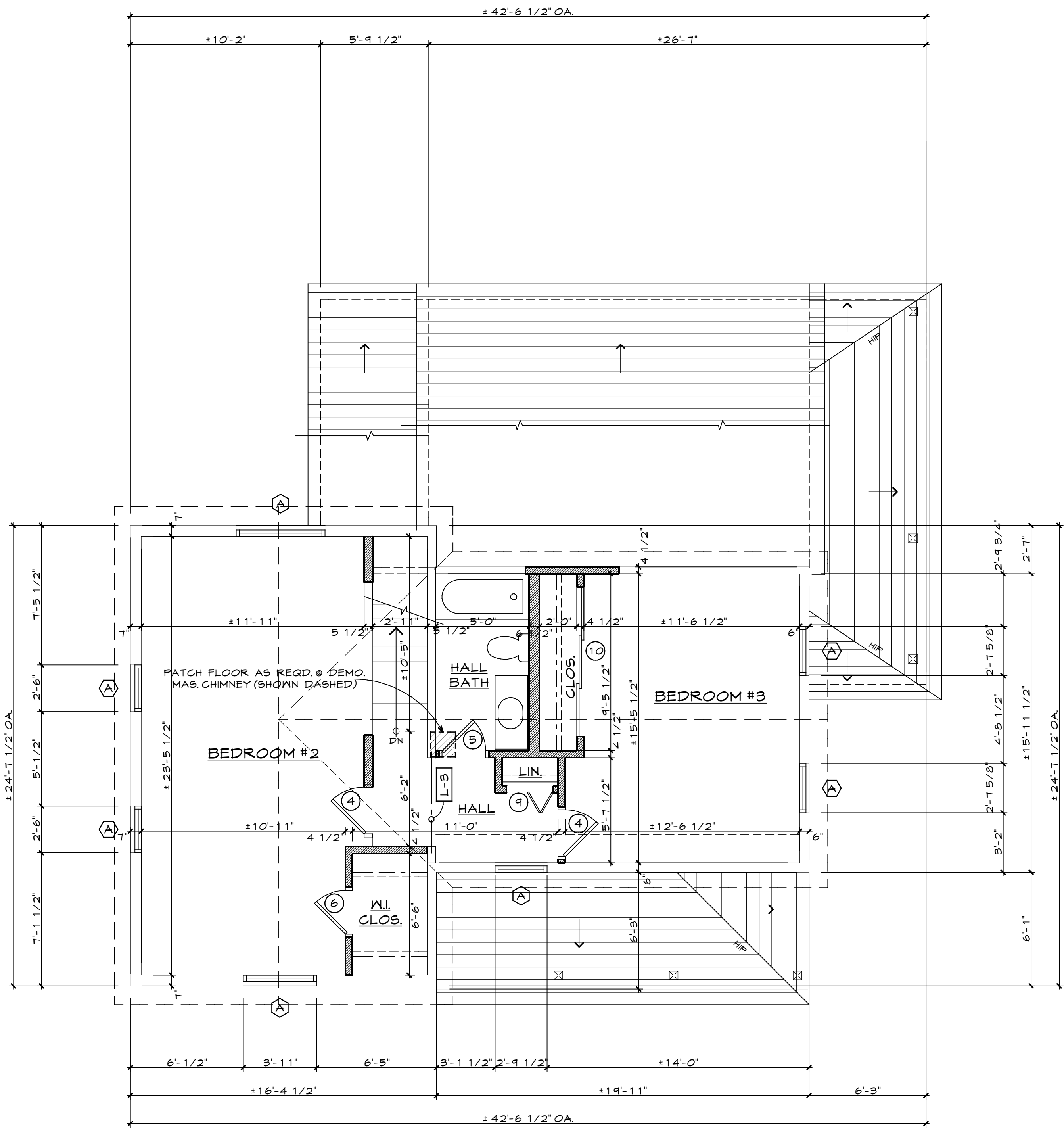
----- REMOVE EXISTING WALL/ITEM
 ----- (SHOWN DASHED)
 ===== EXISTING WALL TO REMAIN
 EX. DENOTES EXISTING WALL/ITEM
 TO REMAIN



**2nd floor
framing plan** **n** **1/4"=1'-0"**

- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- EXIST. BUILDING INFO. & DIMENSIONS TAKEN FROM SITE VERIFICATION BY ARCHITECTS 127 + ASSOCIATES, INC., ON 3/6/24
- REFER TO SHEET 1 FOR DEMOLITION NOTES AND GENERAL NOTES
- REFER TO SHEET 4 FOR PROPOSED FLOOR PLAN



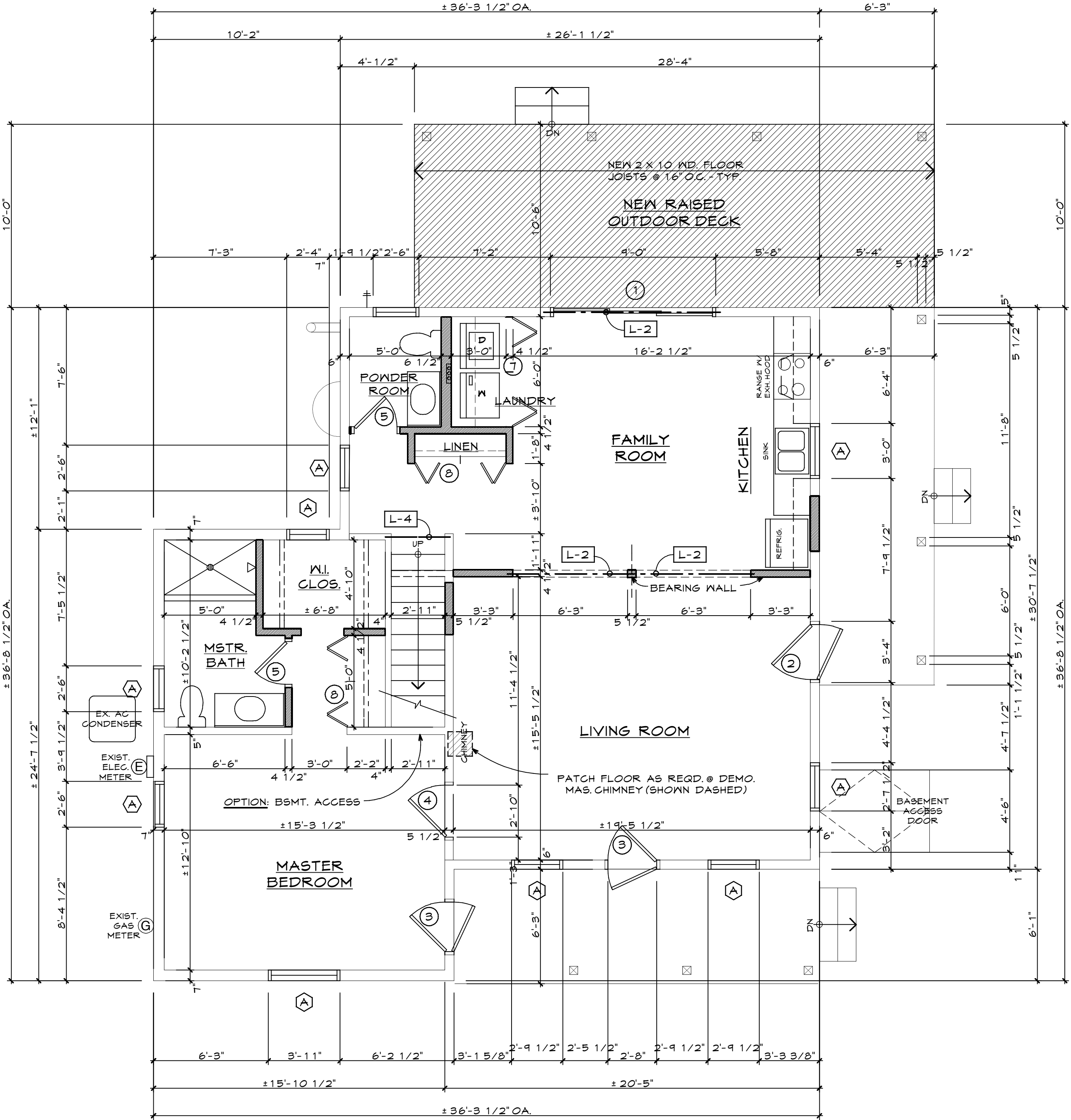


proposed
2nd floor plan

- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- EXIST. BUILDING INFO. & DIMENSIONS TAKEN FROM SITE VERIFICATION BY ARCHITECTS 127 + ASSOCIATES, INC., ON 3/6/24
- REFER TO SHEET 9 FOR GENERAL NOTES & SPECIFICATIONS
- REFER TO SHEET 4, PROPOSED 1ST FLOOR PLAN FOR TYPICAL PLAN NOTES

	WINDOW TYPE - REFER TO SHEET 9 FOR WINDOW SCHEDULE
	DOOR NO. - REFER TO SHEET 9 FOR DOOR SCHEDULE
	LINTEL NO. - REFER TO SHEET 9 FOR LINTEL SCHEDULE
	DITTO, AS STATED ELSEWHERE

legend



proposed
1st floor plan

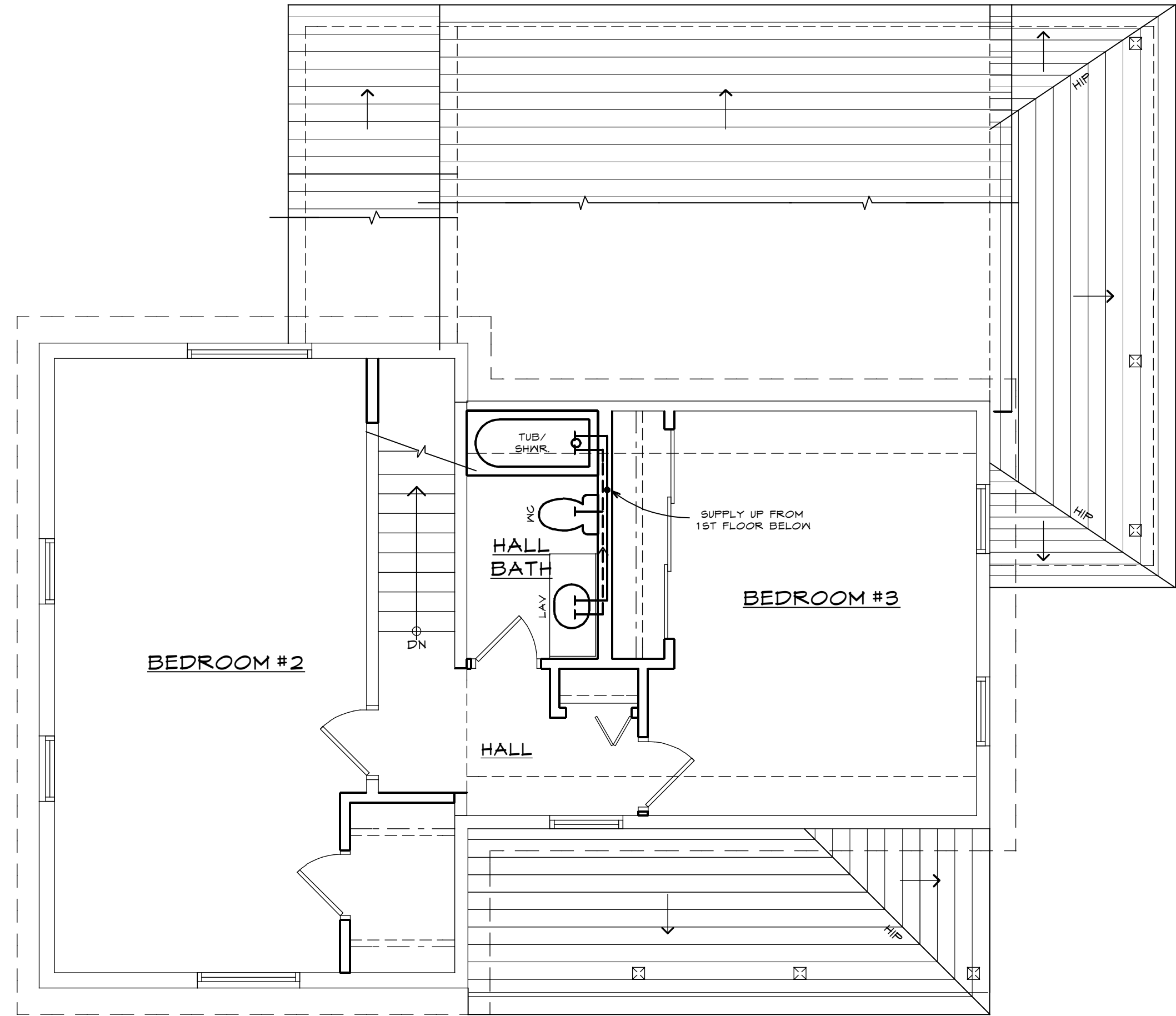
- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- EXIST. BUILDING INFO. & DIMENSIONS TAKEN FROM SITE VERIFICATION BY ARCHITECTS 127 + ASSOCIATES, INC., ON 3/6/24
- REFER TO SHEET 9 FOR GENERAL NOTES & SPECIFICATIONS
- GENERAL CONTRACTOR SHALL VERIFY THE FOLLOWING W/OWNER PRIOR TO ANY WORK!
 - LOCATION AND SELECTION OF ALL INTERIOR FINISHES, TRIM, CABINETS, COUNTERTOPS, RODS & SHELVING, HANGING SYSTEMS, MEDICINE CABINETS, MIRRORS, ACCESSORIES, ETC.
 - ALL CEILINGS SHALL BE GYPSUM BOARD (U.N.O.)
 - LOCATION(S) OF ALL DROPPED CEILINGS AND SOFFITS
 - LOCATION OF ALL INCOMING UTILITIES & COORDINATE LOCATIONS OF ALL METERS, PANELS, ETC.



PROJECT NO:	2432	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25	BID & PERMIT		
DRAWN:	RGY/LAF			
CONTENTS:	PROPOSED 1ST & 2ND FLOOR PLANS			

2nd floor-supply plumbing plan

REFER TO SHEET 5, 1ST FLOOR - SUPPLY PLUMBING PLAN FOR TYPICAL NOTATION



legend



NOTE: ALL WATER AND GAS LINES SHALL BE BONDED ACCORDING TO NEG/2020 250.104 AND SIZED TO 250.66.

NOTE: PROVIDE SHUT-OFF VALVES @ ALL FIXTURE AND EQUIPMENT WATER SUPPLY LINES

NOTES: ALL LAVATORIES, BATH TUBS AND SHOWERS SHALL BE EQUIPPED WITH: THERMOSTATIC MIXING VALVE FOR 110' (MAX.) HOT WATER - TYP.

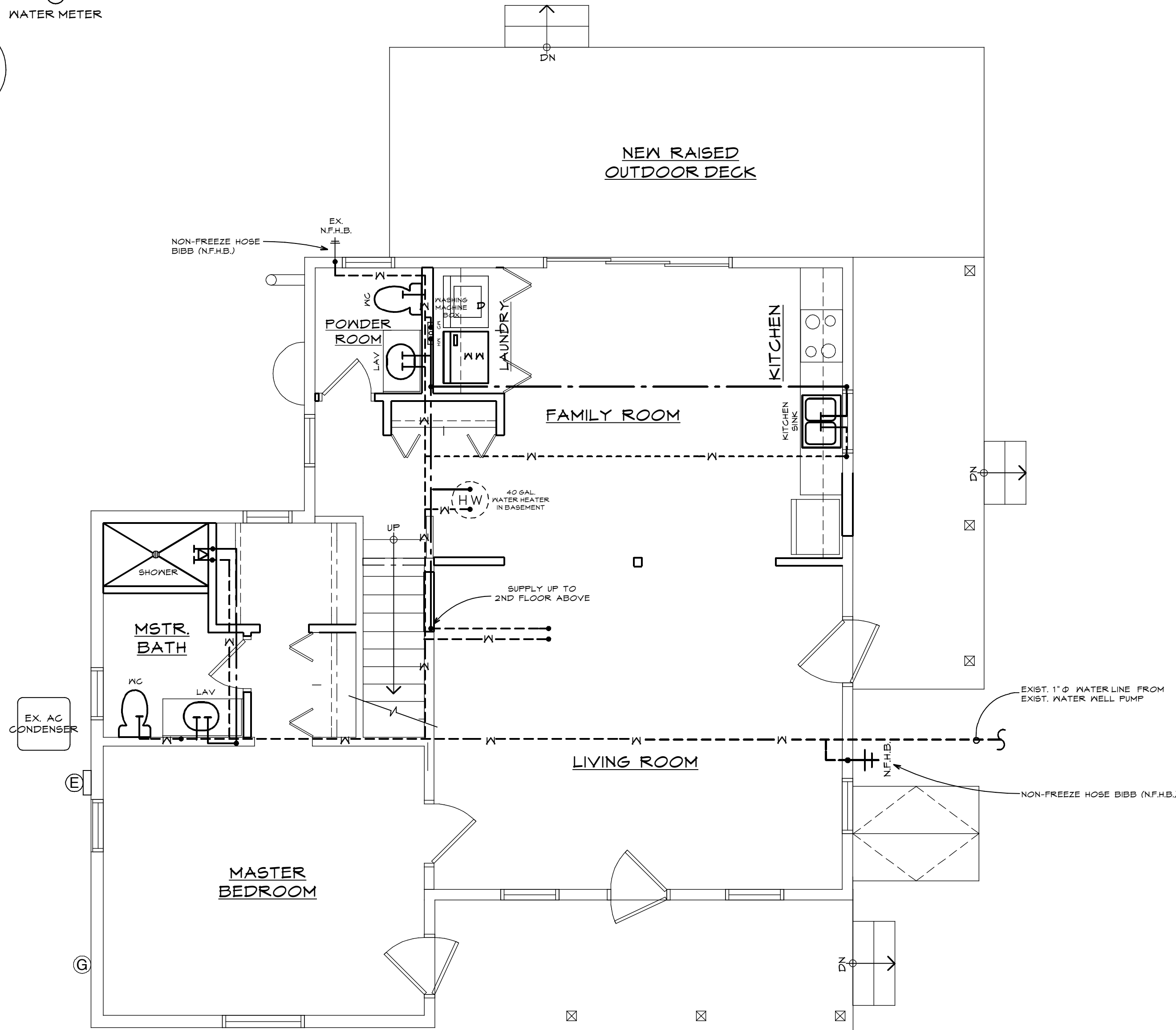
NOTE: INSULATE ALL OVERHEAD WATER LINES

NOTE: ON NON-INSTANTANEOUS WATER HEATERS, PROVIDE HEAT TRAP (INVERTED TRAP) ON BOTH THE DISCHARGE & INLET PIPING OF VESSEL

NOTE: ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT ILLINOIS PLUMBING CODE

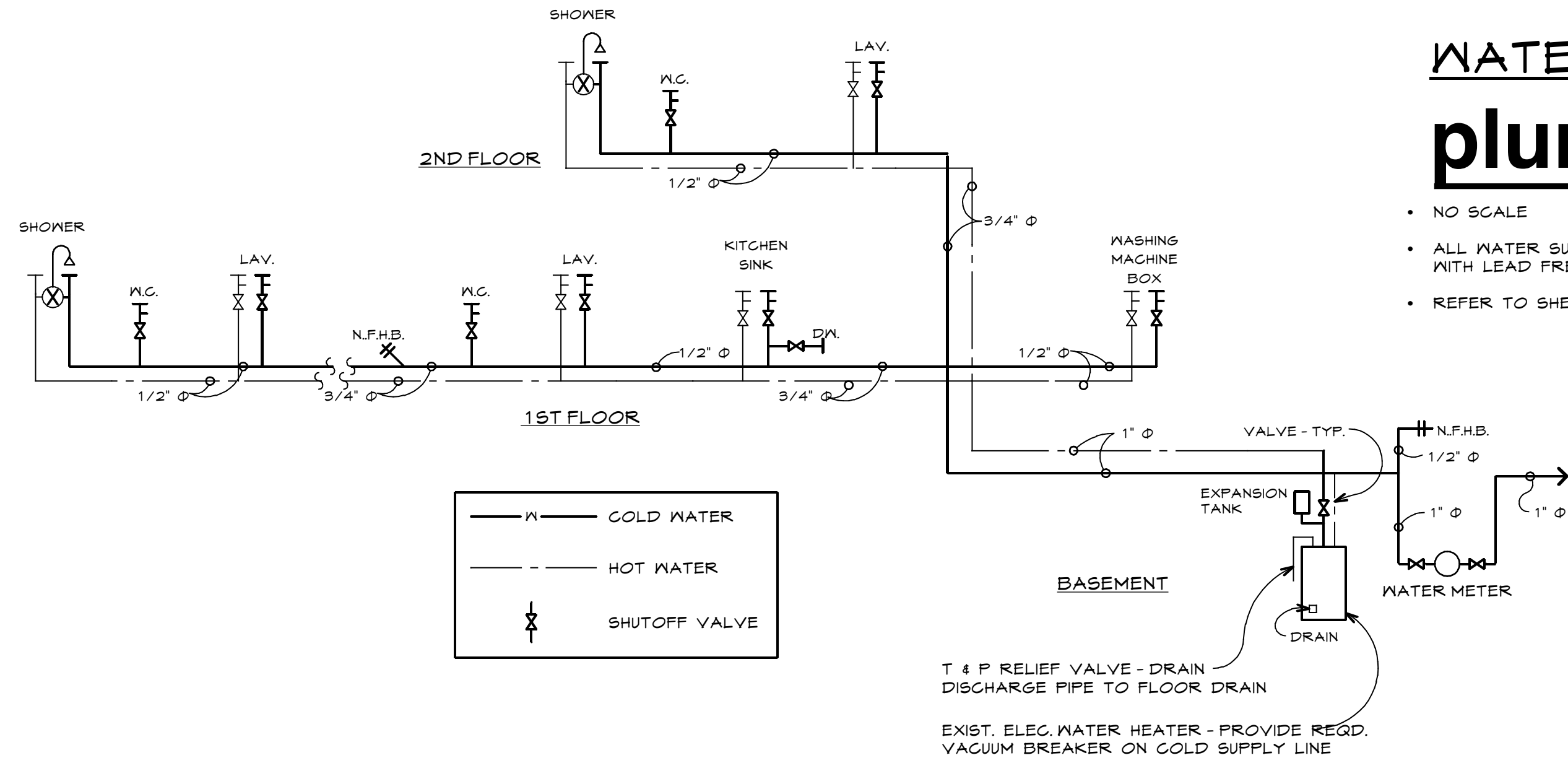
1st floor-supply plumbing plan

DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
REFER TO SHEET 4, 1ST FLOOR PLAN, FOR ALL BUILDING DIMENSIONS
REFER TO SHEET 9, FOR PLUMBING GENERAL NOTES AND SPECIFICATIONS

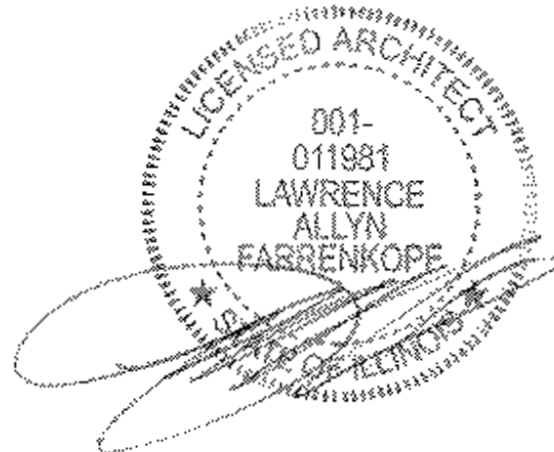


WATER SUPPLY: plumbing diagram

- NO SCALE
- ALL WATER SUPPLY PIPING SHALL BE TYPE "L" HARD DRAWN COPPER WITH LEAD FREE SOLDER JOINTS
- REFER TO SHEET 9 FOR PLUMBING SPECIFICATIONS & GENERAL NOITES

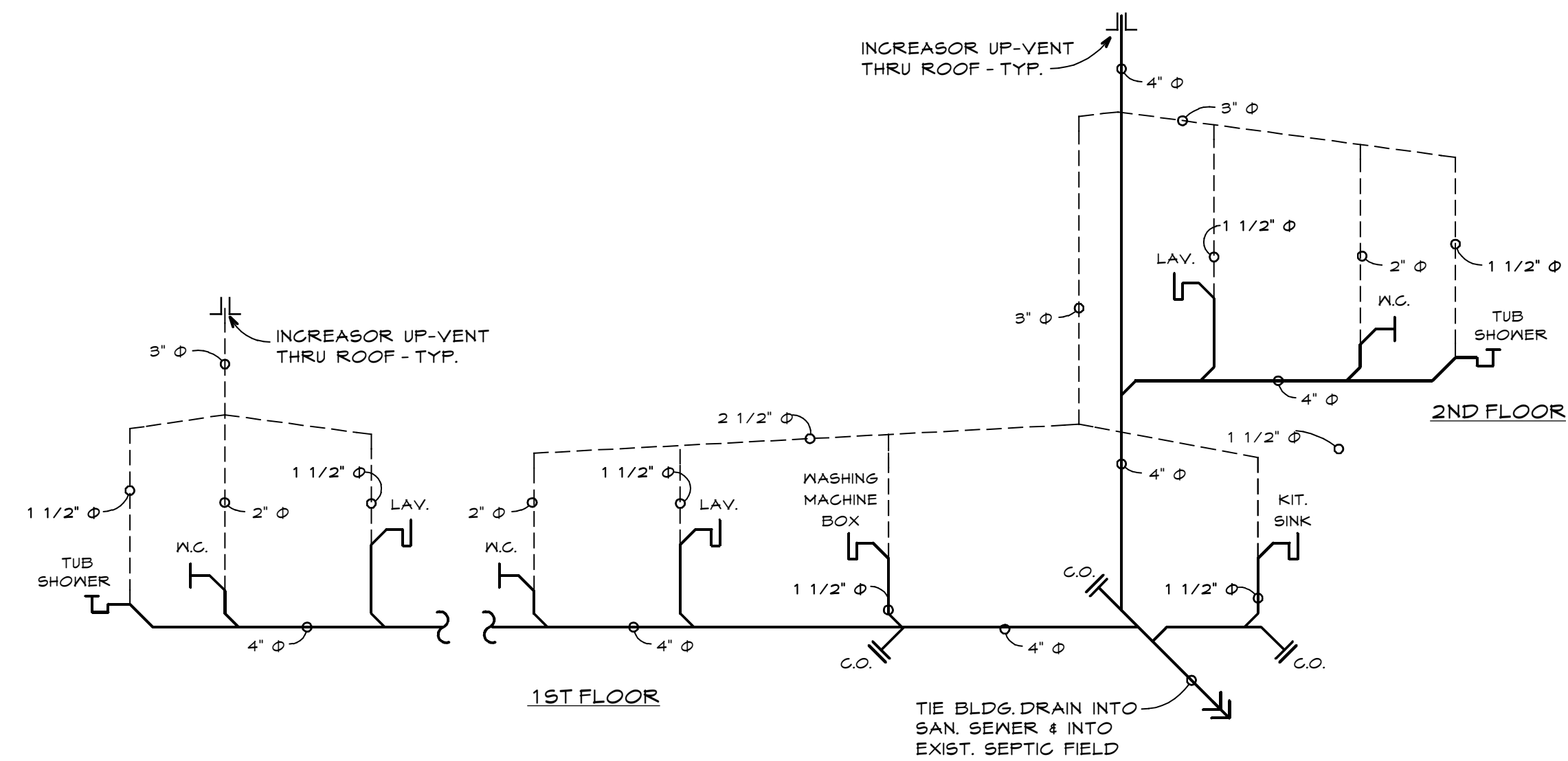


PROJECT NO:	2432	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25	BID #	PERMIT	
DRAWN:	RGY/LAF			
CONTENTS:	1ST & 2ND FLOOR - SUPPLY PLUMBING PLAN PLUMBING SUPPLY DIAGRAM			



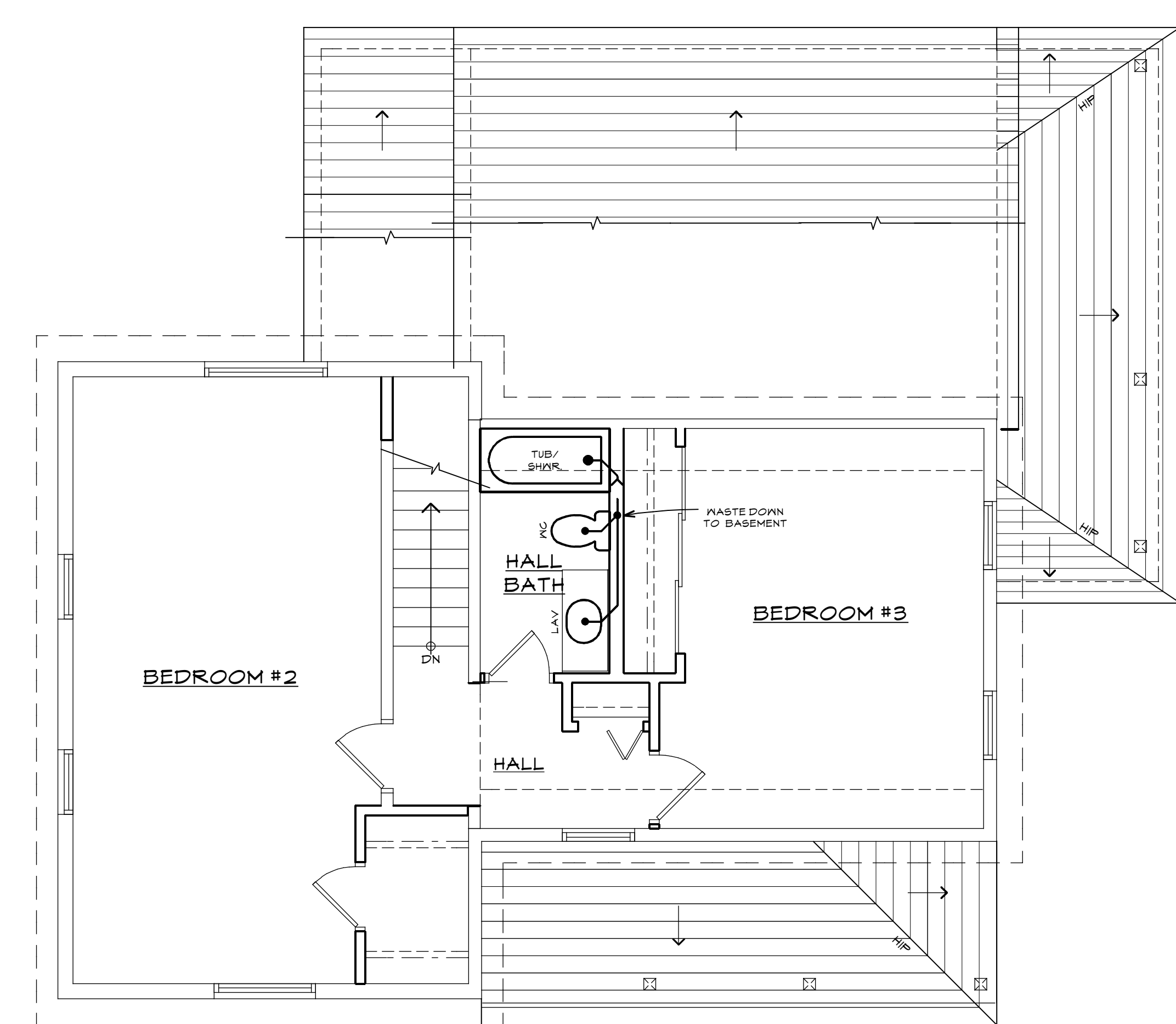
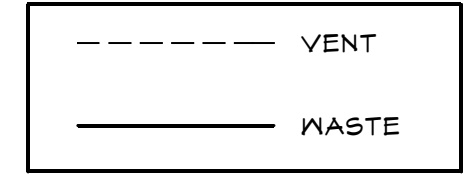
2nd floor-waste plumbing plan

REFER TO SHEET 6, 1ST FLOOR - SUPPLY PLUMBING PLAN FOR TYPICAL NOTATION



WASTE & VENT:
plumbing diagram

- NO SCALE
- ALL WASTE & VENT PIPING ABOVE SLAB SHALL BE SCHEDULE 40 PVC
- REFER TO SHEET 9 FOR PLUMBING SPECIFICATIONS & GENERAL NOITES



NOTE: PROVIDE A CLEANOUT ON THE MAIN BLDG. DRAIN @ EVERY 50 FT. (MAX.)

FULL-SIZE CLEANOUT WITHIN 5'-0" OF BLDG. FOUNDATION & IN DIRECT LINE W/ BLDG. DRAIN

SANITARY SEWER LINE TO SEPTIC SYSTEM

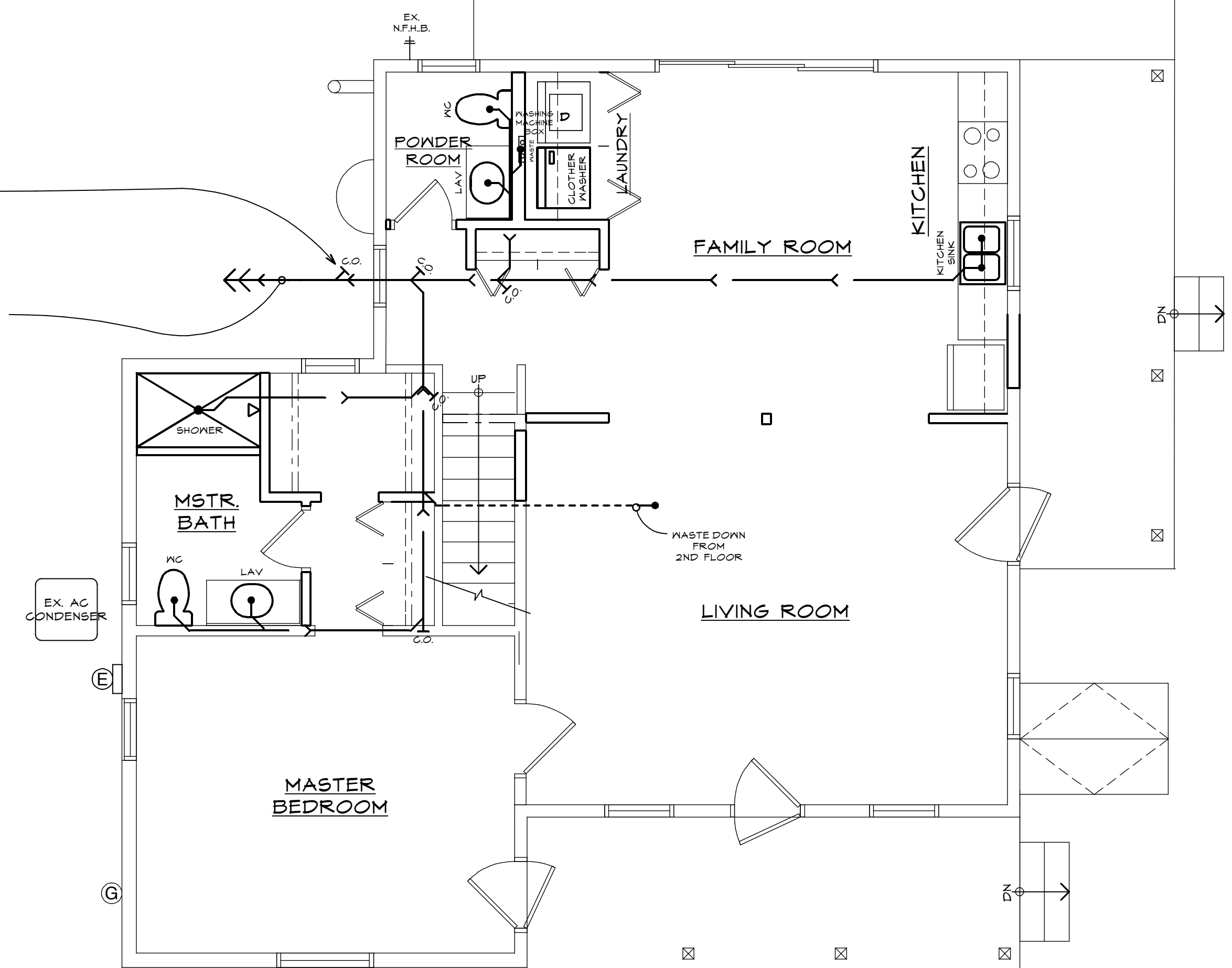
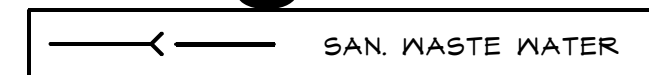
NOTE: SANITARY SEWER MINIMUM SIZE SHALL BE THE SAME SIZE AS THE BACKFLOW PREVENTER DRAIN

NOTE: ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT ILLINOIS PLUMBING CODE

NOTE: WATER SERVICE & BUILDING DRAIN (OR BLDG. SEWER) SHALL BE INSTALLED IN SEPARATE TRENCHES W/ A MIN. OF TEN FEET (10') HORIZ. SEPARATION

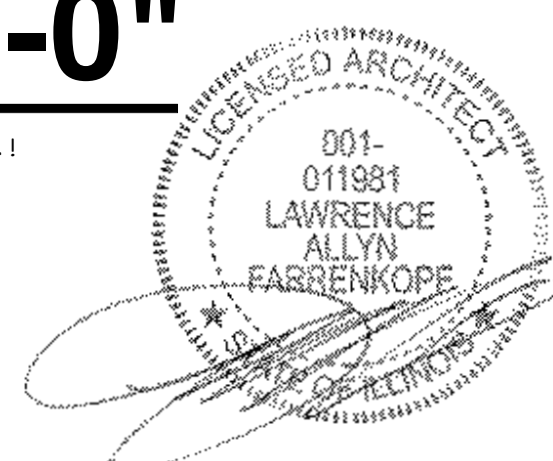
NOTE: ALL SANITARY PLUMBING BELOW SLAB TO BE MIN. 4" Ø P.V.C. (UN.O.) @ MIN. 1/8" PER FOOT SLOPE & PROPERLY SUPPORTED PER LOCAL PLUMBING INSPECTOR'S APPROVAL

legend



1st floor-waste plumbing plan

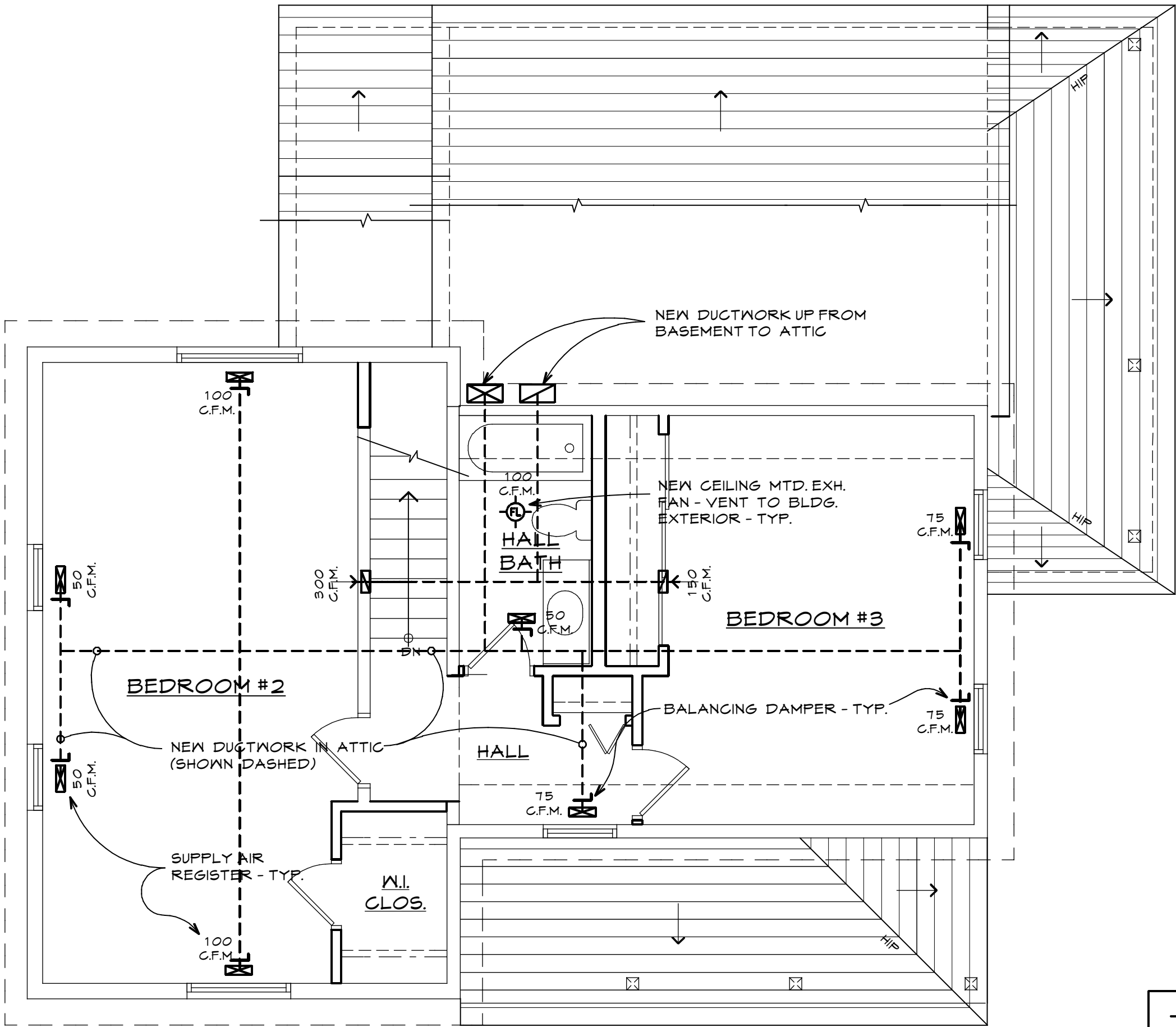
- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- REFER TO SHEET 4, 1ST FLOOR PLAN, FOR ALL BUILDING DIMENSIONS
- REFER TO SHEET 9, FOR PLUMBING GENERAL NOTES AND SPECIFICATIONS



PROJECT NO:	2452	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25	BID #	PERMIT	
DRAWN:	RGY/LAF			
CONTENTS:	1ST & 2ND FLOOR - WASTE PLUMBING PLANS PLUMBING WASTE DIAGRAM			

split system - mech.
equipment schedule

SPLIT-SYSTEM EXIST. UNIT #1	AIR HANDLER FURNACE F-4	A/C EVAPORATOR COIL EC-4	AIR CONDITIONER AC-4
TYPE/TONS:	HORIZONTAL	INDOOR - COOLING	OUTDOOR 4-TON
MANUFACTURER:	GOODMAN	GOODMAN	GOODMAN
MODEL NO:	GM9C961004	CAPTA48	GLXS4BA481
TOTAL COOLING:	_____	_____	48 MBH
SENS. COOLING:	_____	_____	73.6 MBH
HEATING IN:	100 MBH	_____	_____
HEATING OUT:	96 MBH	_____	_____
C.F.M.:	1600 CFM	_____	_____
A.F.U.E - S.E.E.R./E.E.R.:	96.0	_____	14.5/12
SUPPLY VOLTAGE:	115V-1Ø-60HZ	_____	208/230V-1Ø-60HZ
TOTAL AMPS:	15.3 AMPS	_____	25.2 AMPS
MAX. FUSE:	20 AMPS	_____	40 AMPS
WEIGHT:	115 LBS.	70 LBS.	211 LBS.
STAGES:	2 STAGE MODULATING	_____	1 STAGE COMPRESSOR



2nd floor
mech./HVAC plan 1/4"=1'-0"

• REFER TO SHEET 7, 1ST FLOOR - MECH./HVAC PLAN FOR TYPICAL NOTATION

NOTE:
CLOTHES DRYER VENT EXHAUST DUCTS
SHALL TERMINATE OUTSIDE THE BUILDING
IN ACCORDANCE W/ MFRS. INSTALLATION
INSTRUCTIONS. THE TERMINATION SHALL
NOT BE LESS THAN 3 FEET IN ANY
DIRECTION FROM OPENINGS INTO
BUILDINGS, AND SHALL HAVE A
BACKDRAFT DAMPER. SCREENS SHALL
NOT BE INSTALLED AT THE TERMINATION

NOTE:
CLOTHES DRYER DUCT SHALL BE METAL
W/ SMOOTH INTERIOR FINISH (SCREWS
NOT USED IN DUCT CONNECTIONS - MAX.
DUCT LENGTH NOT TO EXCEED 35'-
REFER TO SHEET M2.1 FOR MECH. NOTES

NOTE:
CLOTHES DRYER EXHAUST DUCTS
PENETRATE EXTERIOR WALL. THE
ANNULAR SPACE SHALL BE SEALED WITH
NON-COMBUSTIBLE MATL.

NOTE:
TRANSITION DUCT USED TO CONNECT
THE DRYER TO THE EXHAUST DUCT
SHALL BE A SINGLE LENGTH THAT IS
LISTED & LABELED IN ACCORDANCE
WITH UL 2158A

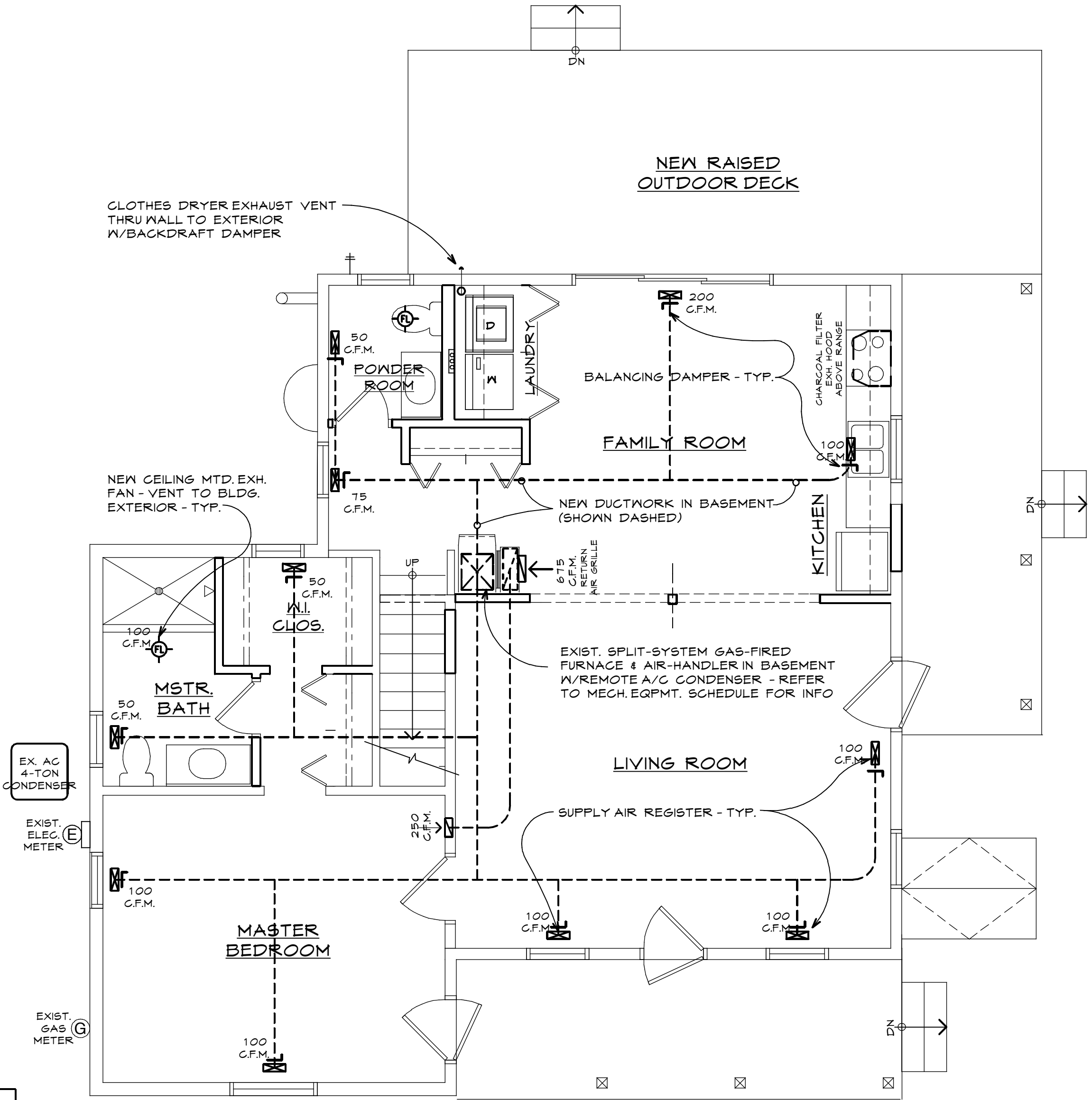
NOTE:
MECHANICAL CONTR. TO COORD.
THERMOSTAT LOCATION(S) W/ TENANT
PRIOR TO ANY WORK

NOTE:
BATH EXHAUST MAINTAIN MIN. 3' FROM
OPERABLE OPENINGS INTO BUILDING

NOTE:
ALL WATER AND GAS LINES SHALL BE
BONDED ACCORDING TO NEC/2020
250.104 AND SIZED TO 250.66.

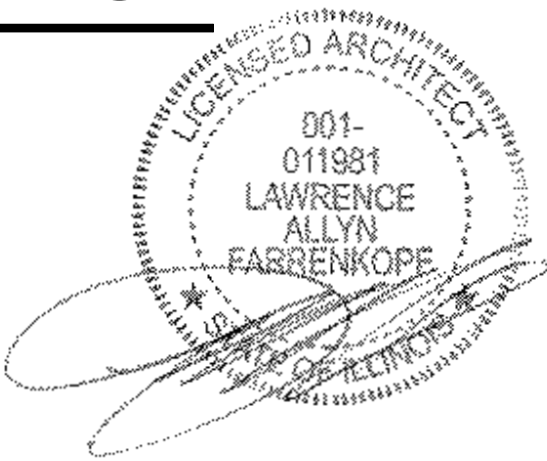
legend

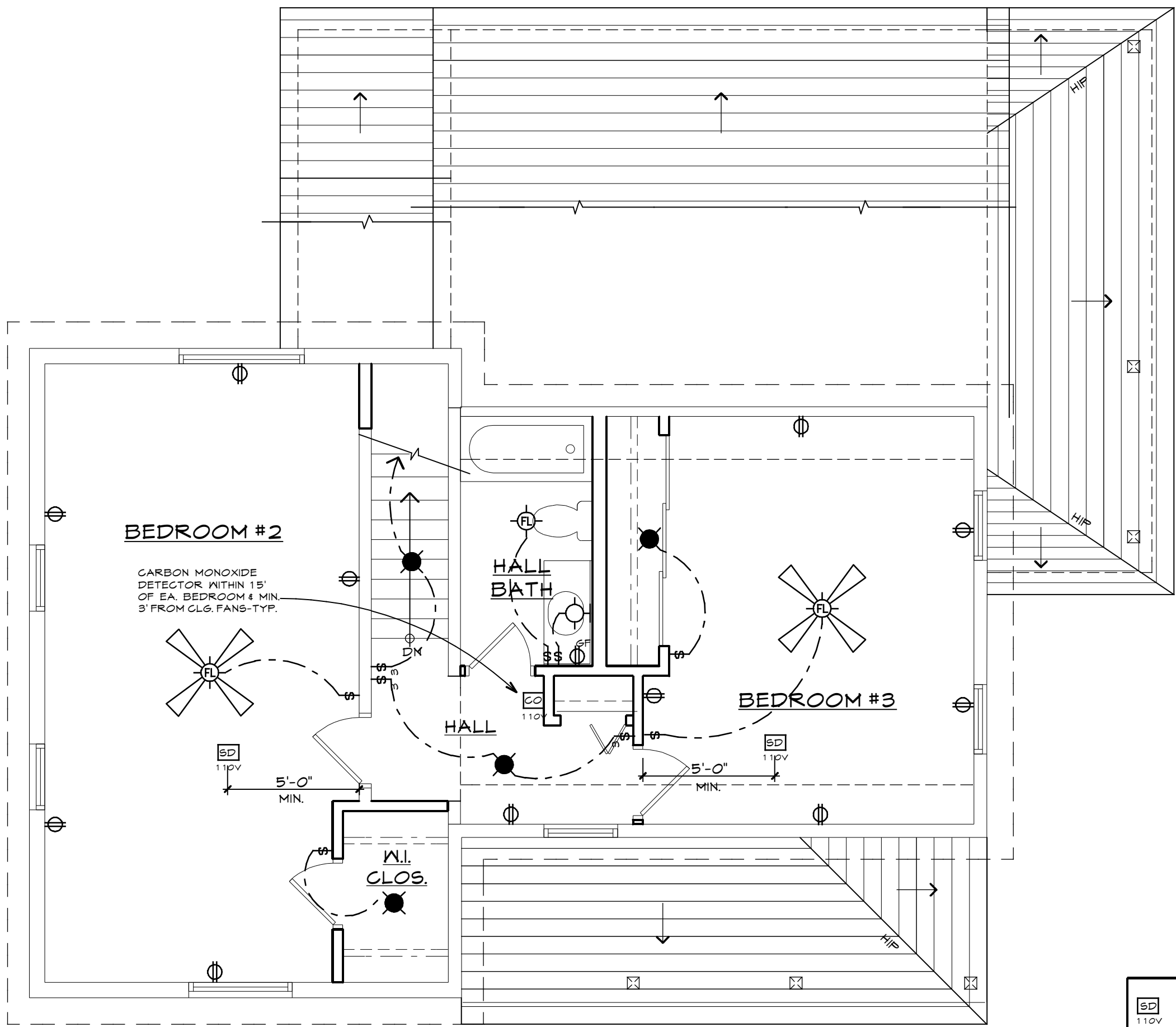
- DUCTS SEE HVAC/MECH. PLAN FOR LOCATIONS
- CEILING MTD. COMBO. LIGHT/EXHAUST FAN -
VENT TO BUILDING EXTERIOR (LOCATED AT
LEAST 15'-0" FROM ANY FRESH AIR INTAKE)
- SUPPLY AIR DIFFUSERS
- RETURN AIR GRILLE
- REFER TO SPLIT-AIR UNIT MECHANICAL
EQUIPMENT SCHEDULE ON SHEET 7



1st floor
mech./HVAC plan 1/4"=1'-0"

- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- REFER TO SHEET 4, 1ST FLOOR PLAN, FOR ALL BUILDING DIMENSIONS
- REFER TO SHEET 9 FOR MECHANICAL/HVAC GENERAL NOTES & SPECIFICATIONS





NOTE:
ARC-FAULT INTERRUPTER (AFI) SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION & PROTECT ALL 120V, SINGLE-PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN ALL ROOMS EXCEPT BATHROOMS, & SHALL PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT

NOTE:
LISTED TAMPER-RESISTANT RECEPTACLES ARE REQD. FOR ALL NONLOCKING-TYPE, 125-VOLT, 15 & 20 AMP RECEPTACLES IN DWELLING UNIT AREAS AS SPECIFIED IN NEC SECTION 210.12 (AREAS INCLUDE; WALL SPACES, SMALL APPLIANCE CIRCUITS, COUNTERTOP SPACES, BATHS, LAUNDRY, HALLWAYS & OUTDOORS)

NOTE:
RUN 240V ELEC. PUMP WIRE IN BURIED CONDUIT TO WELL PUMP

NOTE:
GEN. CONTR. TO VERIFY W/OWNER ELEC./GAS REQUIREMENTS OF ALL KITCHEN APPLIANCES, & PROVIDE ONLY AS REQUIRED

NOTE:
PROVIDE G.F.I. PROTECTION AT ALL KITCHEN & BATH RECEPTACLES - G.F.I. PROTECTION FOR ALL OUTLETS WITHIN 6'-0" OF SINK

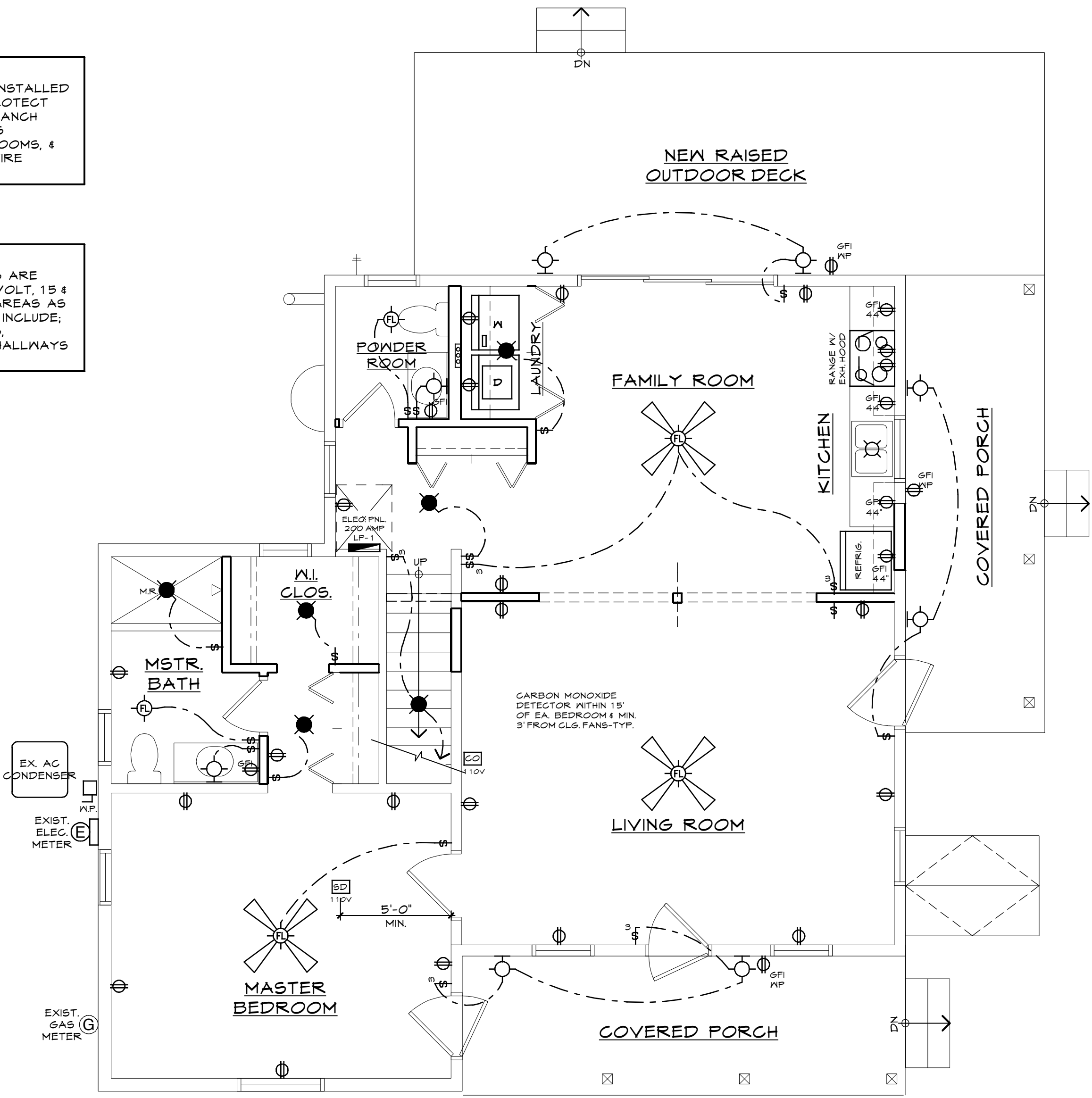
NOTE:
PROVIDE PHOTOCELL CIRCUIT FOR EXTERIOR LIGHTS (POWER ON AT NIGHT AND POWER OFF AT DAY) - PROVIDE MANUAL SWITCHES AS SHOWN - VERIFY W/OWNER WHICH EXTERIOR TO PROVIDE PHOTOCELLS SENSORS ON

legend

-  110V
HARD-WIRED, INTERCONNECTED, IONIZATION OR PHOTOELECTRIC-TYPE & APPROVED FIRE/ SMOKE DETECTORS- SEE PLANS FOR LOCATIONS
-  110V
HARD-WIRED & APPROVED CARBON MONOXIDE ALARM DETECTORS-SEE PLANS FOR LOCATIONS
- NOTES:
• CARBON MONOXIDE DETECTOR MAY BE COMBINED WITH SMOKE DETECTOR SO LONG AS THE SOUND EMITTED IS DIFFERENTIATED

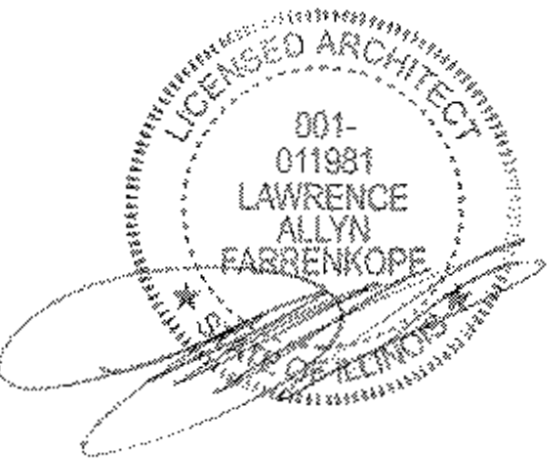
2nd floor-elec. power & lighting plan n 1/4"=1'-0"

• REFER TO SHEET 8, 1ST FLOOR - ELEC. POWER & LIGHTING PLAN FOR TYPICAL NOTATION



1st floor-elec. power & lighting plan n 1/4"=1'-0"

- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS AND FIELD VERIFY PRIOR TO ANY BIDDING AND/OR WORK!
- REFER TO SHEET 4, 1ST FLOOR PLAN, FOR ALL BUILDING DIMENSIONS
- REFER TO SHEET 9, FOR ELECTRICAL GENERAL NOTES AND SPECIFICATIONS



DEMOLITION AND REBUILD WOOD FRAME & SIDING BUILDING proposed 2-story renovation single family residence

39W330 BIG TIMBER ROAD
ELGIN - KANE COUNTY, ILLINOIS

PROJECT NO:	2432	REVISION:	DATE:	DESCRIPTION:
DATE:	12 NOV 25		12 NOV 25	BID & PERMIT
DRAWN:	RGY/LAF			
CONTENTS:	1ST & 2ND FLOOR- ELEC. POWER & LIGHTING PLANS			

1	general notes
1-1	The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work for the acts or omissions of the Contractor, Subcontractors, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with these Contract Documents.
1-2	All work performed and materials used shall comply with the following: - These Construction Documents dated November 12, 2025 identified as: Proposed Two-Story Renovation Single-Family Residence, Sheets 1 through 9 and subsequent revisions hereto. - All applicable local and state codes, ordinances and regulations. - Manufacturer's specifications and trade associations recommendations. - Accepted engineering and construction practices.
1-3	On site verification of all dimensions and conditions shall be the responsibility of the Contractor.
1-4	The Architect shall be notified in writing should any discrepancy or questions arise pertaining to these Contract Documents. No decision shall be made without the written approval of the Architect.
1-5	Subcontractors shall visit the job site and become familiar with existing conditions prior to submitting bids.
1-6	All work shall be performed in a good workmanlike manner. The Subcontractor(s) shall remove their debris and leave the job site broom swept at the end of each day.
1-7	Do NOT scale drawings, use figured dimensions ONLY.
1-8	All exterior frame dimensions taken from face of wood stud (u.n.o.).
1-9	All interior dimensions taken from face of wood stud (u.n.o.).

2	sitework
2-1	The site shall be rough graded and excess dirt hauled away. No black dirt or landscaping is to be included.
2-2	No backfilling shall occur sooner than seven (7) days after pouring concrete.
2-3	Backfill with sand or other approved granular fill in areas where cast iron & clay tile are to be installed, as well as excavated areas where slab on grade will be poured.
2-4	All footings shall bear on minimum 3000 p.s.f. undisturbed soil (u.n.o.).

3	concrete
3-1	All concrete flatwork shall be 4000 psi, min. (5) bag mix.
3-2	All concrete in forms shall be 3000 psi.
3-3	Forms shall not be stripped from concrete walls sooner than 48 hours from time of pour.
3-4	Break off wall ties before dampproofing.
3-5	At intersecting foundation walls or slabs, steps or platforms adjacent to foundation walls, provide wing walls or #4 bars, 1'-0" x 1'-0" @ minimum 12" o.c.
3-6	At change in grade or height of the foundation wall where footings are not continuous, place minimum (4) hooked #4 bars, minimum 4'-0" long, where walls adjoin.

4	masonry

5	metals
6	woods & plastics
6-1	Stress grade lumber shall conform to the latest edition of the "National Design Specification for Wood Construction", with an allowable Fb- (see lintel schedule).
6-2	All exterior bearing walls shall have studs @ 16" O.C. with double top plate, minimum 4B" corner lap and a 2 x 6 sole plate.
6-3	All interior non-bearing partitions shall have studs @ 16" O.C. minimum (u.n.o.)
6-4	Wood sill plates on top of foundation walls shall be leveled and either grouted with portland cement or 1" thick fiberglass sill sealer and anchored with 1/2" diameter anchor bolts at 4'-0" O.C. (u.n.o.).
6-5	All wood in contact with masonry or concrete shall be preservative pressure treated (P.P.T.).
6-6	All corner posts shall be not less than (3) 2 x 4 studs (u.n.o.).
6-7	All bearing wall openings shall be framed with (2) 2 x 12 headers with (1) 1/2" plywood spacer, (u.n.o.).
6-8	Flitch plate beams may be substituted with laminated wood beams of equal or greater strength subject to the written approval of the Architect.
6-9	Provide (2) 2" x 6" wood posts at each side of all window and exterior door openings larger than 5'-0" wide (u.n.o.).
6-10	Provide double joists under all parallel partitions, bathtubs, and stairwell openings.
6-11	Notching of joists is NOT permitted in the mid 1/3 of the span. Holes may be bored through joists with a maximum diameter of 2" with edges not nearer than 2" to top or bottom of joist.
6-12	Provide 1" x 3" wood or Code approved steel cross bracing with maximum spacing of 8'-0" O.C.
6-13	All subfloors to be 3/4" tongue and groove plywood decking (u.n.o.) glued and nailed as per specifications of the American Plywood Association.
6-14	Wall sheathing shall be minimum 1/2" thick exterior grade plywood (u.n.o.) or 1" thick Celotex "Thermax" wall sheathing.
6-15	Roof sheathing shall be 5/8" thick exterior grade plywood rated for 2'-0" o.c. truss spacing or Architect approved equal.
6-16	Blocking shall be installed where needed, particularly kitchens, baths, closets and stairs.
6-17	All finish wood flooring, trim, doors and jams shall be left in the building and protected from damage for a minimum of two (2) weeks prior to completion of drywall work.

7	thermal & moisture protection
7-1	Habitable areas with unheated spaces above shall have R-38 insulation with protective baffles @ eaves to allow for air flow (u.n.o.)
7-2	Cantilevered projections shall have R-30 batt insulation with integral vapor barrier installed toward the interior.
7-3	All band sills shall be insulated with R-21 batt insulation with integral vapor barrier installed toward the interior.
7-4	All door and window shim spaces shall be fully foamed with insulation.
7-5	All wall/roof intersection flashings shall be galvanized sheet metal (minimum 26 gauge).
7-6	Flash at the head of all exterior door and window openings with galvanized sheet metal drip cap.
7-7	Exterior walls shall have R-21 batt insulation with integral vapor barrier installed toward the interior (u.n.o.).
7-8	Caulk all joints between siding and corner boards, soffits, brickmolds, wood trim and sills. Caulk all intersections between countertops and walls, bathtubs or shower bases and tile.
7-9	The intersection of plumbing and chase walls with an attic space shall be made airtight in a manner subject to the Architect's approval.

8	doors & windows
8-1	See Window Schedule on Sheet 9 for window information.
8-2	See Door Schedule on Sheet 9 for door information.

9	finishes
9-1	Where gas furnace is confined in a closet or utility room provide 5/8" type "X" gypsum board on all walls and ceiling.
9-2	Where gas furnace is located in a basement, provide 5/8" type "X" gypsum board on the ceiling for a minimum of 4'-0" beyond the heating device on all sides (u.n.o.).
9-3	All other walls, except for the garage, shall be 1/2" gypsum board, taped, sanded and painted.
9-4	Provide waterproof gypsum board on all sides of shower and tub enclosures.
9-5	Floor finishes to be as noted on the Floor Plan, otherwise verify with the Owner.
9-6	All resilient and ceramic flooring shall be installed over 1/4" underlayment or approved equal (u.n.o.).
9-7	All closet floors, base and wall finishes shall be the same as the adjacent room (u.n.o.).
9-8	All exterior paint and stain shall be as selected by Owner.
9-9	Interior walls and ceilings to receive two (2) coats of latex paint. Both coats to be backrolled.

10	specialties
10-1	The Carpenter shall set all cabinets and countertops, provide and install all closet rods and shelving. Install shower glass doors and shower curtain rods.

15	mechanical
15-1	Heating and/or Plumbing Contractor(s) to verify location, size of proposed mechanical equipment to determine the most economical manner in which to heat and cool (service) the new structure. HVAC plans shall then be reviewed by the Architect/Owner.
15-2	All supply, return and exhaust duct openings shall be capped with suitable material during construction.
15-3	All supply registers to be 4" x 10" (u.n.o.).
15-4	Joints and seams of supply and return ducts to be secured properly and substantially airtight.
15-5	Plumbing Contractor to set range, dishwasher and garbage disposal and run all gas lines to gas appliances and provide a shut-off valve at the appliance.
15-6	Type "B" flues to be installed in accordance with their listings and manufacturer's instructions.
15-7	Flues or vent connectors shall have a rise of at least 1/4" to the foot of run and be securely supported.
15-8	Heating Contractor shall connect flue from the hot water heater into the furnace flue.
15-9	Heating Contractor shall run all condensate lines to a floor drain.
15-10	Plastic (PVC) piping for waste and vent, as well as type "L" copper for water supply piping shall conform to the latest ASTM specifications for residential use and comply with all local codes and ordinances.
15-11	Provide cleanouts at every change of direction and in any run with a bend of greater than 45 degrees.
15-12	Provide shut-off valves at each hot and cold water line at every fixture.
15-13	Provide 12" air chambers at each hot and cold water line and at every fixture (including N.F.H.B. - non-freeze hose bibbs).
15-14	Dryers to be vented directly to the exterior and provided with backdraft damper(s).
15-15	All bathroom exhaust fans to be vented to the exterior.
15-16	Mechanical system piping capable of carrying fluids greater than 105 F (41 C) or less than 55 F (13 C) shall be insulated to an R-value of not less than R-3.
15-17	If supply & return ducts are installed in attic spaces, ducts in attics shall have R-8 insulation, R-6 if not completely in Thermal Envelope. Note: NO duct insulation required if in Thermal Envelope.
15-18	Fuel gas lighting systems shall not have continuously burning pilot lights

symbols	
	Single pole switch @ 46" A.F.F.
	3-way switch @ 46" A.F.F.
	dimmer switch @ 46" A.F.F.
	duplex receptacle @ 16" A.F.F.
	duplex receptacle @ 44" A.F.F.
	waterproof duplex receptacle
	duplex receptacle (ground fault interrupter)
	duplex receptacle split wired @ 16" A.F.F.
	220 volt single receptacle
	direct connection
	ceiling light fixture
	pull chain light fixture
	wall mounted light fixture
	recessed ceiling light fixture
	combination fan/light
	smoke detector w/alarm (110 volt)
	2'-0" or 4'-0" long L.E.D. light fixture as noted
	ceiling mounted junction box w/finished cover plate

16	electrical
16-1	All electrical work to be installed in conduit (EMT) to comply with all rules and regulations per the latest National Electric Code or modifications made by the local authorities having jurisdiction.
16-2	All equipment installed outdoors shall be weatherproof.
16-3	All WP receptacles shall be weatherproof and have ground fault interrupter (G.F.I.) protection.
16-4	All interior receptacles shall be of the grounded type.
16-5	Receptacles installed above counters in kitchen & baths shall be mtd. 44" A.F.F. (u.n.o.).
16-6	All other receptacles not mentioned above shall be installed horizontally at 16" A.F.F. and have baked enamel coverplates.
16-7	Wall switches shall be installed at 46" A.F.F.
16-8	Provide GFCI protection at all garage, basement, bath and exterior outlets. Also kitchen outlets within 6'-0" of a sink.
16-9	Clothes closet light fixtures shall be recessed and comply with N.E.C. 410-8 where shown.
16-10	All recessed electrical fixtures to be located a minimum of 2" from any surrounding wood.
16-11	Smoke detectors to be UL (110 volt) approved and meet the governing code requirements. (interconnected)
16-12	The electrical shown on the plans is schematic only. All work shall comply with all applicable codes and ordinances.
16-13	Recessed lighting shall be sealed to limit air leakage between conditioned and unconditioned spaces. Recessed luminaires shall be IC-rated and labeled as having an air leakage rate of not greater than 2.0 cfm. Recessed luminaires shall be sealed with a gasket or caulked between the housing and the interior wall or ceiling covering.

MARK	WINDOW SIZE	TYPE	MATL.	FINISH	EXT.	INT.	MANUFACTURER	REMARKS
(A)	3050	DBL HUNG	CLAD	PREFIN.MTL.	WOOD		SEE NOTES 1, 2 & 3 BELOW	DBL INSUL LOW 'E' GLASS & SCREENS MEETS EMERG. EGRESS/RESCUE OPNG.
(B)	3030	DBL HUNG	CLAD	PREFIN.MTL.	WOOD		SEE NOTES 1, 2 & 3 BELOW	DBL INSUL. GLASS & SCREENS
(C)								

WINDOW GENERAL NOTES:	
1.	WINDOW MANUFACTURER SHALL BE PELLA CORP. OR OWNER APPROVED EQUIVALENT - 250 SERIES TO MATCH EXIST. PREFIN. METAL GLAD (FIELD VERIFY)
2.	GENERAL CONTRACTOR SHALL VERIFY FRAME COLOR & ANY OPTIONAL ACCESSORIES W/OWNER PRIOR TO ORDERING WINDOWS
3.	REFER TO SHEET 9, PROPOSED 1ST AND 2ND FLOOR PLANS FOR ALL WINDOW LOCATIONS
4.	CERTIFIED EMERGENCY ESCAPE & RESCUE WINDOW FOR SLEEPING ROOM IN COMPLIANCE WITH I.B.C. SECTION 1026.2 (MIN. CLEAR OPENING 24" HT., 20" WIDTH & MIN. 5.7 SQ.FT. (UPPER FLOOR) & MIN. 5.0 SQ.FT. (GROUND FLOOR) AND BOT. OF WINDOW OPNG. MAX. 44" ABOVE FIN. FLOOR)
5.	EMERGENCY EGRESS WINDOW SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
6.	PROVIDE WINDOW GUARDS/FALL PROTECTION AT WINDOWS WHERE TOP OF WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR OR GREATER THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACES BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: OPERABLE WINDOWS WITH OPENING-65 THAT WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION
	OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F 2090

MARK	DOOR SIZE	DESCRIPTION	DOOR	FIN.	FRAME	MATL.	FIN.	HRDW	REMARKS
(1)	PAIR 3'-0" X 6'-8" X 1 3/4"	SLIDING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(2)	3'-0" X 6'-8" X 1 3/4"	SWING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(3)	3'-0" X 6'-8" X 1 3/8"	SWING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(4)	2'-6" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BEDROOM PRIVACY SET		PANEL STYLE SELECTED BY OWNER
(5)	2'-4" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BATH PRIVACY SET		PANEL STYLE SELECTED BY OWNER
(6)	2'-4" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. CLOSET		PANEL STYLE SELECTED BY OWNER
(7)	PAIR 3'-0" X 6'-8" X 1 3/8"	BI-FOLD	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BI-FOLD		PANEL STYLE SELECTED BY OWNER
(8)	PAIR 2'-6" X 6'-8" X 1 3/8"	BI-FOLD	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BI-FOLD		PANEL STYLE SELECTED BY OWNER
(9)	2'-6" X 6'-8" X 1 3/8"	BI-FOLD	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BI-FOLD		PANEL STYLE SELECTED BY OWNER
(10)	PAIR 3'-0" X 6'-8" X 1 3/8"	BI-PASS	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BI-PASS		PANEL STYLE SELECTED BY OWNER
(11)									
(12)									

DOOR GENERAL NOTES:	
(1)	GENERAL CONTRACTOR SHALL VERIFY ALL COLORS & ANY OPTIONAL ACCESSORIES INCLUDING BUT NOT LIMITED TO SCREEN DOOR LOCATIONS W/OWNER PRIOR TO ORDERING DOORS
(2)	REFER TO SHEET 4 PROPOSED 1ST & 2ND FLOOR PLANS, FOR ALL DOOR LOCATIONS

light & vent schedule						
ROOM NAME	ROOM AREA	LIGHT		VENT		REMARKS
		CODE	ACTUAL	CODE	ACTUAL	
FAMILY ROOM	192	16.8	23.0	8.4	19.5	COMBINED ROOM LIGHT VENT AREA TOTAL: 270
KITCHEN	78					
LIVING ROOM	300	24.0	70.2	12.0	35.1	
MASTER BEDROOM	196	15.6	32.4	7.8	16.2	
MASTER BATH	60	4.8	5.0	2.4	2.5	
POWDER ROOM	30	2.4	5.0	1.2	100 G.F.M.	
BEDROOM #2	273	21.8	67.5	10.9	33.0	
BEDROOM #3	184	14.8	26.2	7.4	13.1	
HALL BATH	47	3.8	---	1.9	100 G.F.M.	

loose lintel schedule			
MARK	DESCRIPTION	BEARING @ ENDS	REMARKS
(L-1)	(3) 2 X 12 + (2) 1/2" PLYWD. SPGRS.	4"	SEE NOTE (1) BELOW
(L-2)			
(L-3)			
(L-4)			
(L-5)			
(L-6)			
(L-7)			
(L-8)			
LOOSE LINTEL GENERAL NOTES:			
(1)	ALL LINTEL LUMBER TO BE HEM-FIR NO. 2 OR EQUIVALENT Fb. SINGLE = 1150 P.S.I. Fb. REP = 1350 P.S.I. E = 1,400,000 P.S.I. Δ = L/360		
(2)	DESIGN LOADS: LIVE LOADS - ROOF (LIVE) = 30 P.S.F. GROUND SNOW LOAD = 30 P.S.F. ALL FLOORS = 40 P.S.F. STAIR: = 40 P.S.F. ATTIC = 20 P.S.F. LIMITED STORAGE WIND = 115 M.P.H. (ULTIMATE WIND DESIGN 3-SECOND GUST		
(3)	ALL LINTEL LUMBER EXPOSED TO WEATHER TO BE P.P.T. WOOD (PRESSURE PRESERVATIVE TREATED) LUMBER (U.N.O.) - ALL FASTENERS/HANGERS TO BE GALVANIZED OR PLATED TO AVOID CORROSION & STAINING		

window schedule						
MARK	WINDOW SIZE	TYPE	MATL.	FINISH	EXT.	INT.
(A)	3050	DBL HUNG	CLAD	PREFIN.MTL.	WOOD	
(B)	3030	DBL HUNG	CLAD	PREFIN.MTL.	WOOD	
(C)						

WINDOW GENERAL NOTES:	
1.	WINDOW MANUFACTURER SHALL BE PELLA CORP. OR OWNER APPROVED EQUIVALENT - 250 SERIES TO MATCH EXIST. PREFIN. METAL GLAD (FIELD VERIFY)
2.	GENERAL CONTRACTOR SHALL VERIFY FRAME COLOR & ANY OPTIONAL ACCESSORIES W/OWNER PRIOR TO ORDERING WINDOWS
3.	REFER TO SHEET 9, PROPOSED 1ST AND 2ND FLOOR PLANS FOR ALL WINDOW LOCATIONS
4.	CERTIFIED EMERGENCY ESCAPE & RESCUE WINDOW FOR SLEEPING ROOM IN COMPLIANCE WITH I.B.C. SECTION 1026.2 (MIN. CLEAR OPENING 24" HT., 20" WIDTH & MIN. 5.7 SQ.FT. (UPPER FLOOR) & MIN. 5.0 SQ.FT. (GROUND FLOOR) AND BOT. OF WINDOW OPNG. MAX. 44" ABOVE FIN. FLOOR)
5.	EMERGENCY EGRESS WINDOW SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
6.	PROVIDE WINDOW GUARDS/FALL PROTECTION AT WINDOWS WHERE TOP OF WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR OR GREATER THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACES BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: OPERABLE WINDOWS WITH OPENING-65 THAT WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION
	OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F 2090

MARK	DOOR SIZE	DESCRIPTION	DOOR	FIN.	FRAME	MATL.	FIN.	HRDW	REMARKS
(1)	PAIR 3'-0" X 6'-8" X 1 3/4"	SLIDING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(2)	3'-0" X 6'-8" X 1 3/4"	SWING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(3)	3'-0" X 6'-8" X 1 3/8"	SWING	WD. OF INSUL.MTL. & GLASS	PAINT OR PREFIN.	WOOD OF INSUL.MTL.	PAINT OR PREFIN.	BY OWNER		PANEL STYLE SELECTED BY OWNER
(4)	2'-6" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BEDROOM PRIVACY SET		PANEL STYLE SELECTED BY OWNER
(5)	2'-4" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. BATH PRIVACY SET		PANEL STYLE SELECTED BY OWNER
(6)	2'-4" X 6'-8" X 1 3/8"	SWING	WOOD	PAINT OR STAIN	WOOD	PAINT OR STAIN	STD. CLOSET		PANEL STYLE SELECTED BY OWNER
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+ Associates, Inc.

DEMOLITION AND REBUILD WOOD FRAME & SIDING BUILDING

proposed 2-story renovation

single family residence

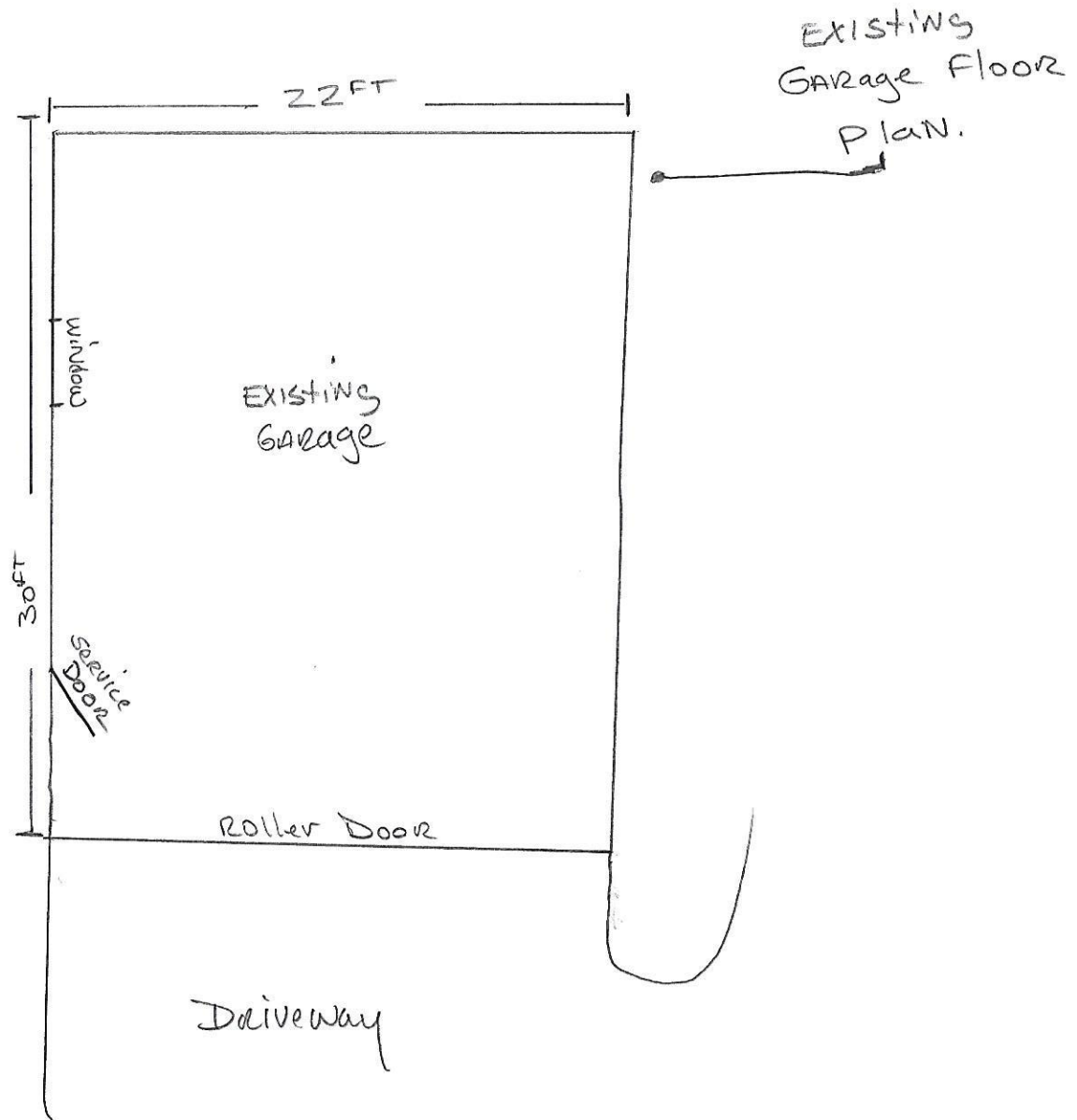
39W330 BIG TIMBER ROAD

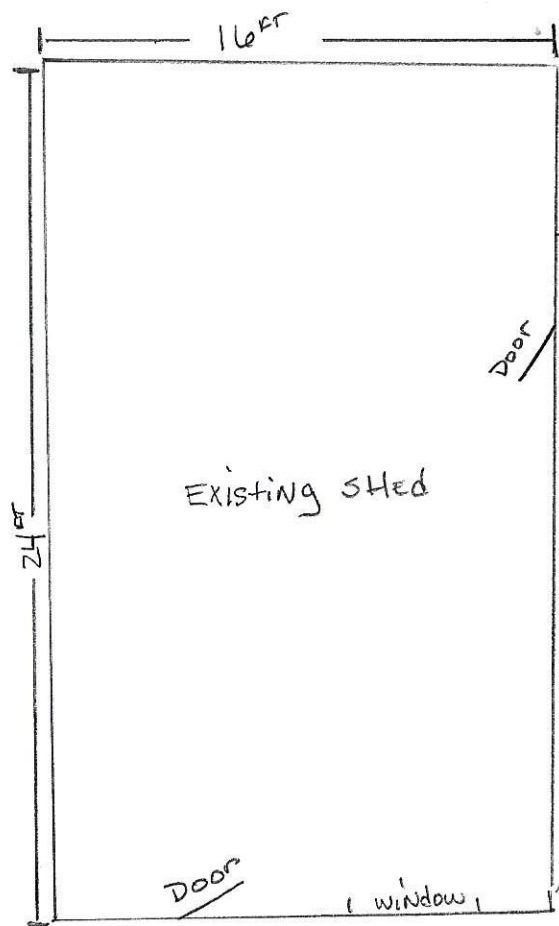
ELGIN - KANE COUNTY, ILLINOIS

PROJECT NO:	2432	REVISION:		DATE:	12 NOV 25	DESCRIPTION:	BID & PERMIT
DATE:	12 NOV 25	DRAWN:	RGY/LAF				
CONTENTS: GENERAL NOTES AND SPECIFICATIONS							

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39W330 Big Timber Rd





Existing SHed
Floor plan.

39W330 Big Timber Rd